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S T A R R P A S S

S I N G L E - F A M I L Y R E S I D E N T I A L
D E S I G N G U I D E L I N E S

PREPARED FOR:

STARR PASS DEVELOPMENT GROUP
Toronto, Canada

PREPARED BY:

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Phoenix, Arizona

JANUARY 1, 1993

TABLE OF CONTENTS

SECTION 1.0 INTRODUCTION

- 1.1 STARR PASS PLANNING AND DESIGN CONCEPTS
 - 1.1.1 Streets
 - 1.1.2 Grading
 - 1.1.3 Drainage
 - 1.1.4 Walkways
 - 1.1.5 Walls
 - 1.1.6 Architecture
 - 1.1.7 Landscape
 - 1.1.8 Signage
- 1.2 DESIGN CRITERIA ROLE
 - 1.2.1 Purpose and Applicability
 - 1.2.2 Supporting Documents
 - 1.2.3 Responsibility for Review
- 1.3 DEFINITIONS

SECTION 2.0 DESIGN REVIEW AND APPROVAL PROCESS

- 2.1 PRE-DESIGN CONFERENCE
- 2.2 IMPROVEMENTS REQUIRING REVIEW
- 2.3 SUBMITTAL REQUIREMENTS
- 2.4 APPROVALS AND RESUBMITTALS

SECTION 3.0 PRODUCT DEVELOPMENT CRITERIA

- 3.1 WALLS
 - 3.1.1 Parcel Walls
 - 3.1.2 Product Walls
 - 3.1.3 Product Wall to Parcel Wall Connection
- 3.2 PARCEL ENTRIES
 - 3.2.1 Location
 - 3.2.2 Approved Design
 - 3.2.3 Gated Entries
- 3.3 PRODUCT SETBACKS
 - 3.3.1 Single Family Detached
 - 3.3.2 Single Family Attached
- 3.4 PRODUCT DRIVEWAYS
 - 3.4.1 Driveway Length and Width - Front Loaded Garages
 - 3.4.2 Driveway length and width - Side loaded Garages
- 3.5 MODEL HOME COMPLEXES
 - 3.5.1 Parking
 - 3.5.2 Signage
 - 3.5.3 Walls
 - 3.5.4 Fencing
 - 3.5.5 Temporary Sales Trailers
- 3.6 SIGNAGE
 - 3.6.1 Use of Starr Pass Logo
 - 3.6.2 Off-Site Marketing Signage
 - 3.6.3 Parcel Marketing Signage
- 3.7 PRODUCT CONSTRUCTION CRITERIA
 - 3.7.1 General
 - 3.7.2 Nuisance Control
 - 3.7.3 Protection of Natural Open Space / Vegetation
 - 3.7.4 Cleanliness
 - 3.7.5 Construction Access
 - 3.7.6 Contractors
 - 3.7.7 Damage Repair

SECTION 4.0 ARCHITECTURAL DESIGN CRITERIA

- 4.1 INTRODUCTION
- 4.2 FRONT ELEVATION
 - 4.2.1 Front Elevation Variation
 - 4.2.2 Porches and Entry Courts
 - 4.2.3 Balconies
 - 4.2.4 Front Doors
 - 4.2.5 Garage Doors
 - 4.2.6 Front Windows
 - 4.2.7 Bonus Rooms
 - 4.2.8 Fascia
- 4.3 SIDE and REAR ELEVATION
 - 4.3.1 Side Elevation
 - 4.3.2 Rear Elevation
- 4.4 ROOFS
 - 4.4.1 General
 - 4.4.2 Permitted Rooflines
 - 4.4.3 Approved Roof Tiles
- 4.5 MATERIALS PALETTE
 - 4.5.1 General
 - 4.5.2 Approved Materials
 - 4.5.3 Prohibited Materials
- 4.6 CHARACTER ELEMENTS and ARCHITECTURAL DETAILING
 - 4.6.1 Chimneys
 - 4.6.2 Trellises and Arbors
 - 4.6.3 Exterior Lighting
- 4.7 COLOR
 - 4.7.1 Approved Colors
 - 4.7.2 Reflectance
 - 4.7.3 Color Variation by Product
- 4.8 FUNCTIONAL ELEMENTS
 - 4.8.1 Mechanical Appurtenances
 - 4.8.2 Vents and Stack Pipes
 - 4.8.3 Solar Panels
 - 4.8.4 Satellite Dishes
 - 4.8.5 Flagpoles
 - 4.8.6 Antennae
 - 4.8.7 Security Bars

SECTION 5.0 LANDSCAPE CRITERIA

- 5.1 LANDSCAPE CONCEPT
- 5.2 PARCEL LANDSCAPE
 - 5.2.1 Street Landscape
 - 5.2.2 Street Landscape Adjacent to Walls
 - 5.2.3 Landscape Adjacent to Golf Course
 - 5.2.4 Slope Stabilization
- 5.3 RESIDENTIAL YARD LANDSCAPE
 - 5.3.1 Front Yard
 - 5.3.2 Side Yard
 - 5.3.3 Foundation Planting
- 5.4 MODEL HOMES LANDSCAPE
- 5.5 MATERIAL SPECIFICATIONS
 - 5.5.1 Minimum Sizes
 - 5.5.2 Hydroseed Specification
 - 5.5.3 Decomposed Granite
 - 5.5.4 Approved Plant List-Publicly Visible Areas
 - 5.5.5 Approved Plant List-Private Courtyards and Amenity Areas
 - 5.5.6 Prohibited Plant List

- 5.6 IRRIGATION
 - 5.6.1 General
 - 5.6.2 Demand Calculations
 - 5.6.3 Water Supply
 - 5.6.4 Spray Irrigation
 - 5.6.5 Drip Irrigation
 - 5.6.7 Zoning
 - 5.6.8 Water Management
 - 5.6.9 System Installation

LIST OF TABLES

- A - Submittal Requirements
- B - Setbacks

LIST OF EXHIBITS

- 3-1 Approved wall design
- 3-2 Wall Transition
- 3-3 Wall Section
- 3-4 Wall Convections
- 3-5 Gated Entries
- 4-1 Color Exhibit

1.1 STARR PASS PLANNING AND DESIGN CONCEPTS

Project Introduction - Starr Pass is a 1,000 acre master planned resort neighborhood located at the west-central edge of the city of Tucson. Starr Pass is a lifestyle community designed to provide a full array of recreational activities including golf, hiking, biking, picnicking and easy access to the Tucson Mountain Park. The project will also be home to a 600 key guest ranch facility that will provide accommodations and resort-like amenities to the neighborhood's residents.

Starr Pass has been carefully planned to maintain the significant character of the existing site and its surrounding environs. These guidelines have been developed to help reinforce the project's master planned character while providing for a variety of housing styles and materials. This document is not intended to force homogeneity, but to make diversity compatible. Alternate proposals that meet the spirit of these concepts will be positively reviewed by the SPRC.

Some of the basic design concepts for this project are described below;

- 1.1.1 **Streets** - Streets within Starr Pass are intended to provide safe and efficient vehicular circulation without adversely impacting the site, natural vegetation and drainage, and steep slopes. The development team has worked closely with the City of Tucson to reduce the amount of paving and provide innovative options for street design.
- 1.1.2 **Grading** - A comprehensive grading strategy has been developed for Starr Pass. Innovative grading solutions are planned and will be implemented by the master developer to minimize large retaining walls, steep landscape banks, and excessive cut and fill requirements in an effort to create buildable parcels. Builders will be requested to examine split level products, side lot retaining walls, and rear lot to rear lot (Type B) drainage as a way to reduce grading impacts.
- 1.1.3 **Drainage** - Drainage for Starr Pass has been master planned consistent with the site planning and resource management objectives. The design objective of neighborhood drainage is to limit off-site discharge and the need for large drainage channels that serve little purpose during non-flood times. Therefore, on-site detention facilities that make use of run-off (water harvesting) to irrigate desert open space features will be encouraged and implemented by the Master Developer.
- 1.1.4 **Walkways** - Consistent with the recreational lifestyle developed for Starr Pass, an interconnected system of walkways and trails has been master planned to connect residential centers with neighborhood amenities and open space features. This trail system will be expanded in cooperation with the City of Tucson and Pima County Parks to provide hike/ bike access to Tucson Mountain Park and downtown Tucson via a dedicated trail along 22nd Street.
- 1.1.5 **Walls** - The design objective for walls within Starr Pass is to limit their impact by permitting walls only where necessary for security or privacy, without compromising the open space character and significant views to and from the property. While product walls provide an element of privacy for individual residences, the low density and open space character of Starr Pass will require that product walls be minimized and used only when necessary in small lot and dense product parcels. All product walls visible from natural open space, golf course, and streets will be constructed in accordance with the Starr Pass approved design.

- 1.1.6 **Architecture** - The architectural character of Starr Pass shall be an eclectic mix of styles; all compatible with the site character and the southwest environment. These guidelines will allow strong definition between builder projects while maintaining continuity of quality through clear definition of elements such as massing, scale, texture, and color.
- 1.1.7 **Landscape** - The landscape concept for Starr Pass will make use indigenous materials to reinforce the rich combination of color and texture that accompany the site. 'Oasis' or high water use plant material is prohibited from areas within public view. However, residents will be permitted courtyard style landscape plans that concentrate higher water use plant material in close proximity to their living spaces.
- 1.1.8 **Signage** - The design objective the signage system within Starr Pass is to create a functional information system with graphic style and imagery that contributes to the neighborhood's character in an unobtrusive manner. The following guidelines are directed at standardizing marketing and construction signage provided by builders, and preventing 'marketing blight' that will overpower the quality of the site.

1.2 DESIGN GUIDELINES ROLE

1.2.1 Purpose and Applicability - The purpose of these Design Guidelines is to foster variety within a context of consistency for Starr Pass. These Design Guidelines apply to all single-family residential and multi-family residential construction in Starr Pass. The project's initial infrastructure will be completed by the project's Master Developer. These Design Guidelines are intended to guide product design, planning, and construction by Builders developing at Starr Pass.

1.2.2 Supporting Documents - The Design Guidelines are in addition to the City of Tucson building and zoning codes and do not supersede any existing applicable codes or ordinances. Any requests for variances to the laws and regulations of the City of Tucson or Standards adopted by the City of Tucson shall be submitted to the appropriate agency of the City according to the established procedures and following written consent of Starr Pass.

The Supplemental Declaration of Covenants, Conditions, Restrictions (CC&R's) and Reservations of Easements for the Starr Pass Homeowners Association contains legal restrictions regulating the construction and maintenance of improvements within Starr Pass and is enforceable in a court of law. The Declaration and these Design Guidelines are subject to interpretation by the Starr Pass Review Committee (SPRC). The SPRC may amend or augment the Design Guidelines to meet specific site, temporary, or functional requirements of property in Starr Pass, consistent with the basic objectives of the SPRC.

1.2.3 Responsibility for Review - Neither the Master Developer nor the SPRC assume responsibility for plan review of local codes or ordinances. The SPRC's purpose in plan review is to meet the intent of these Design Guidelines. All projects in Starr Pass are required to be reviewed by the City of Tucson and Pima County where applicable. The City of Tucson will require a review approval letter from the SPRC prior to reviewing any documents, or issuing any permits for work to be performed at Starr Pass.

1.3 DEFINITIONS

Amenities - Pools, tennis facilities, exterior pavilions, gazebos, or gathering areas.

Balcony - Physical projection from building elevation, adjacent to a window or door, that is occupy-able and has a railing.

Ancillary Buildings - Storage sheds, garages, bath houses, playhouses.

Development Block - Any development parcel as defined by Starr Pass Final Map, sold for development.

HOA - Homeowners Association

Parcel Wall - Any wall surrounding a development parcel that is visible from public view, shall be considered a parcel wall.

Porches - Covered exterior space adjoining the front elevation of a house, supported by a minimum of one column.

Product Wall - Any wall surrounding a development parcel that is not designated as a Parcel Wall, but is visible from public view, shall be considered a product wall.

View Fence/ View Wall - A 6' high fence that is full height steel (wrought iron) picket fence vs. a 6' high security or privacy screen that is 1/2 solid wall (3') and half (3') steel picket fence.

**SECTION 2.0
DESIGN REVIEW AND APPROVAL**

2.1 PRE-DESIGN CONFERENCE

Prior to beginning any design work, builders shall schedule a pre-design conference to review design requirements with the SPRC's designated representative, and to provide the builder with any additional information about site amenities or opportunities; confirm the builder program and price points, and to identify any unique conditions or issues to be included in the design review submission.

2.2 REVIEW PROCESS

Submission reviews will be done in cooperation with the builder and their design team. It is not the intent of the SPRC to work in isolation, but instead to create a positive working relationship with the builder to assure construction of an affordable product that enhances the quality of the community.

2.3 IMPROVEMENTS REQUIRING REVIEW

All parcel improvements will require review and approval by the SPRC. Improvements include, but are not limited to residential product, landscape, signage, and site amenities, street layout, utilities, paving, trail construction and sidewalks, .

2.4 SUBMITTAL REQUIREMENTS

Table A outlines required information submittals. All submittals must be submitted on paper sepia, not to exceed 30" x 42".

Each submittal must include:

- o block number
- o index of drawings
 - o color and material samples
 - o 'special' features
 - o colored elevations
 - o landscape / grading plans
- o legend of symbols (if any)
- o name of project
- o name of applicant / address / phone number
- o name of consultant / address / phone number / license number

2.5 APPROVALS AND RESUBMITTALS

All submittals will be reviewed by the SPRC and each sheet will be stamped "Approved" or "Address comments and resubmit". Construction may not begin on any improvements until all submittals for that type of improvement have been approved.

Upon receipt of submittal comments, the builder may schedule a meeting to review and explain comments in further detail.

Upon completion of review and approval by the SPRC, a letter will be written by the SPRC to the City of Tucson documenting the review approval.

TABLE A
STARR PASS SUBMITTAL REQUIREMENTS

Document	Contents
1. Site Plan	<ul style="list-style-type: none"> Street layout (provided by Master Developer) Lot layout with dimensions (provided by Master Developer) Building footprints (if not subdivided) Walkway layout Model home locations Construction access Product wall locations View wall locations Construction fence locations
2. Landscape Concept Plan	<ul style="list-style-type: none"> Native landscape preserved Street tree locations Plant list with sizes Special landscape features Lot landscape for: <ul style="list-style-type: none"> Typical lot Corner lot Model homes landscape plan Additions to parcel entry Product wall details
3. Irrigation Plan	<ul style="list-style-type: none"> Typical lot planting plan with <ul style="list-style-type: none"> Tap location BVP location Mainline and valve location Outline specifications
4. Architectural Concept Plan	<ul style="list-style-type: none"> Sketches of all front, side and rear elevations visible from any street or public open space Floor plans of all buildings Elevations labeled to describe all materials and colors Typical lot for each unit indicating building footprint, setback requirements, driveway locations, sidewalk, wall locations and location of AC condenser and other utilities.
5. Architectural Material Sample	<ul style="list-style-type: none"> Material samples shall be securely mounted on a lightweight board not to exceed 24" x 36" Board and shall include: <ul style="list-style-type: none"> color chips manufacturer cut sheets photographs or samples for: <ul style="list-style-type: none"> roof tile entry door garage doors stucco texture paint or stain color chips
6. Temporary Signage Plan	<ul style="list-style-type: none"> Layout and details for all on-site sales / informational / directional, temporary signs, construction signs, lighting type/location for all signage. 8 1/2" x 11" color drawings

**STARR PASS
DESIGN REVIEW PROCESS CHECKLIST**

Block No.

Builder Name
Address:

Phone:
Fax:
Contact:

Pre-Design Conference Date:

Process Dates:

Submitted

Reviewed

Approved

Site Plan:

Landscape Plans:

Irrigation Plans:

Architectural Plan:

Material Sample Board:

Signage Plans:

**STARR PASS
SITE PLAN REVIEW**

Street Layout:

Lot Layout:

Building Footprints:

Sidewalk Locations:

Model Home Locations:

Construction Access:

Wall Locations:

Solid

View

Product

Construction Fence Locations:

**STARR PASS
ARCHITECTURAL REVIEW**

4.2 Front Elevation

- _____ General Massing
- _____ Variation
- _____ Porches/or Courtyards (4.2.2)
- _____ Balconies (4.2.3)
- _____ Front Doors (4.2.4)
- _____ Garage Doors (4.2.5)
- _____ Windows (4.2.6)
- _____ Bonus Rooms (4.2.7)
- _____ Fascia (4.2.8)

4.3 Side and Rear Elevation

- _____ Side visible from open space, golf course
- _____ Rear articulation

4.4 Roofs

- _____ Permitted Rooflines (4.4.2)
- _____ Roof Overhand (4.4.3)
- _____ Roof Tiles (4.4.4)

4.5 Materials

- _____ Approved Materials usage (4.5.2)
- _____ Any prohibited materials (4.5.3)

4.6 Character Elements

- _____ Chimneys (4.6.1)
- _____ Trellises (4.6.2)
- _____ Exterior Lighting (4.6.3)

4.7 Color

- _____ Color within approved range (4.7.1)
- _____ Reflectance acceptable (4.7.2)
- _____ Color variation by product (4.7.3)

4.8 Functional Elements

- _____ Mechanical appurtenances (4.8.1)
- _____ Vents and stack pipes (4.8.2)
- _____ Solar panels (4.8.3)
- _____ Satellite dishes (4.8.4)
- _____ Antennae (4.8.5)
- _____ Security Bars (4.8.6)

**STARR PASS
LANDSCAPE REVIEW**

5.2 Parcel Landscape

- _____ Restoration plan of non-lot areas (5.2.1)
- _____ Landscape adjacent to walls (5.2.2)
- _____ Landscape adjacent to golf course (5.2.3)
- _____ Slope stabilization (5.2.4)

5.3 Residential Lot Landscape

- _____ Front yard (5.3.1)
 - 2 trees - size
 - Groundcover - size, spec
 - Foundation planting
 - Mulch
- _____ Side Yard
 - Per front yard for visible lots

5.4 Model Homes

- _____ Increased quantity, size

5.5 General

- _____ Plants per approved list

SECTION 3.0
PRODUCT DEVELOPMENT GUIDELINES

3.1 WALLS

- 3.1.1 Parcel Walls** - Parcel walls shall be designed and constructed by the builder in accordance with the approved Starr Pass Design. Parcel walls shall consist of either solid, 6'0" privacy walls; open steel (wrought iron) picket 6'0" view fences; or 1/2 solid and 1/2 steel picket view fence. Refer to Exhibits 3-1, 3-2, 3-3 for detailed design information.

Solid walls are prohibited along the golf course or natural open space.

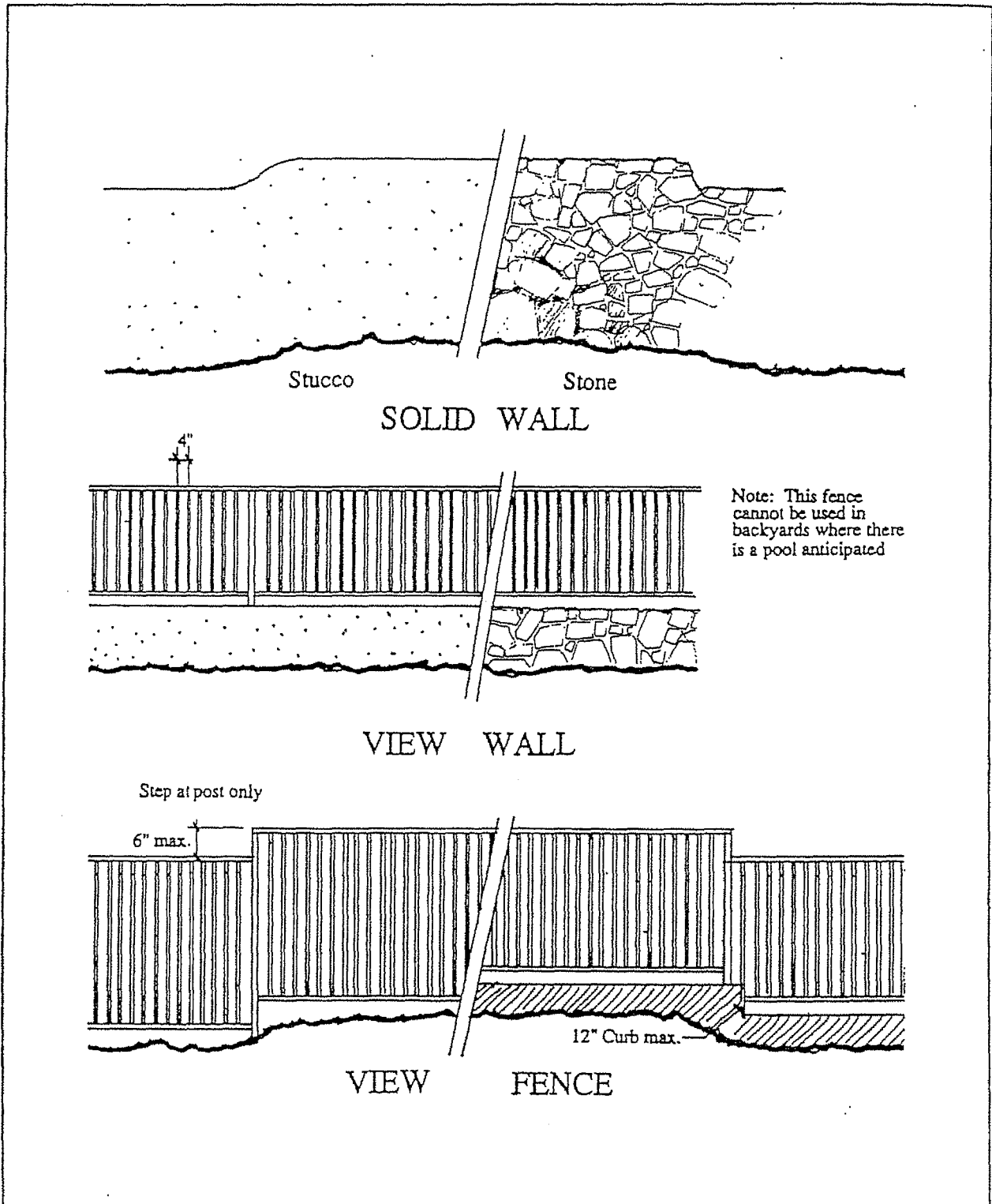
- 3.1.2 Product Walls** - Product walls shall be setback along residential streets a minimum of 4'0" from the back of curb or back of sidewalk, whichever is greater. The setback shall be landscaped in accordance with Section 5.2.2, and maintained by the adjoining homeowner.

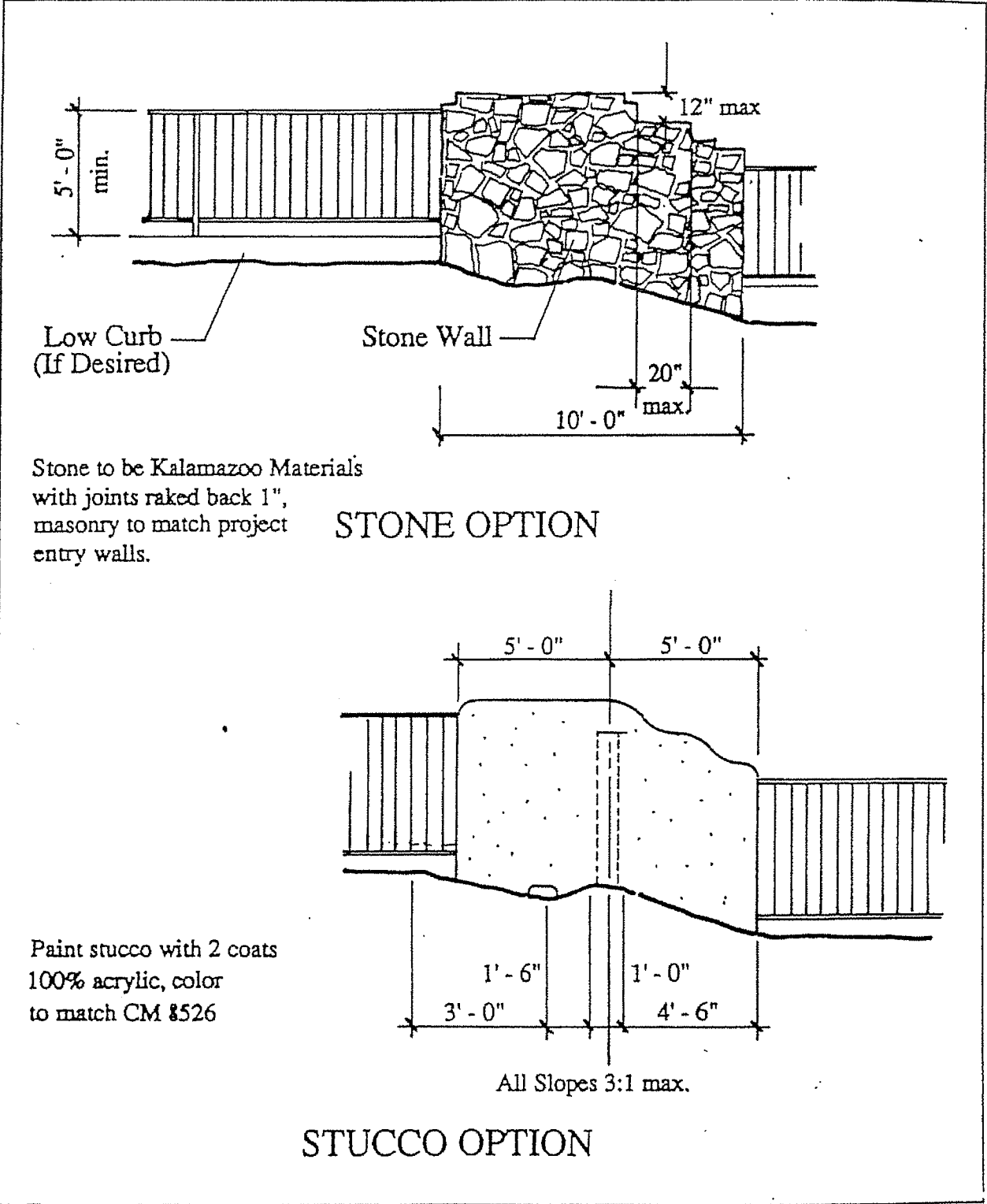
Product walls shall be designed to reflect the character of the Parcel Wall in color, mass, form, and materials, and shall be stuccoed and painted. Product wall height shall not exceed 6'0". Unfinished slump block, standard grey concrete block, and wood or chain link fences are prohibited materials for product walls.

- 3.1.3 Side Lot Privacy Walls** - Privacy wall along side lot lines shall not exceed 7'-0" from the lowest grade on either side, including retaining walls. Walls shall turn and connect into residence a minimum of 4'-0" from front elevation.

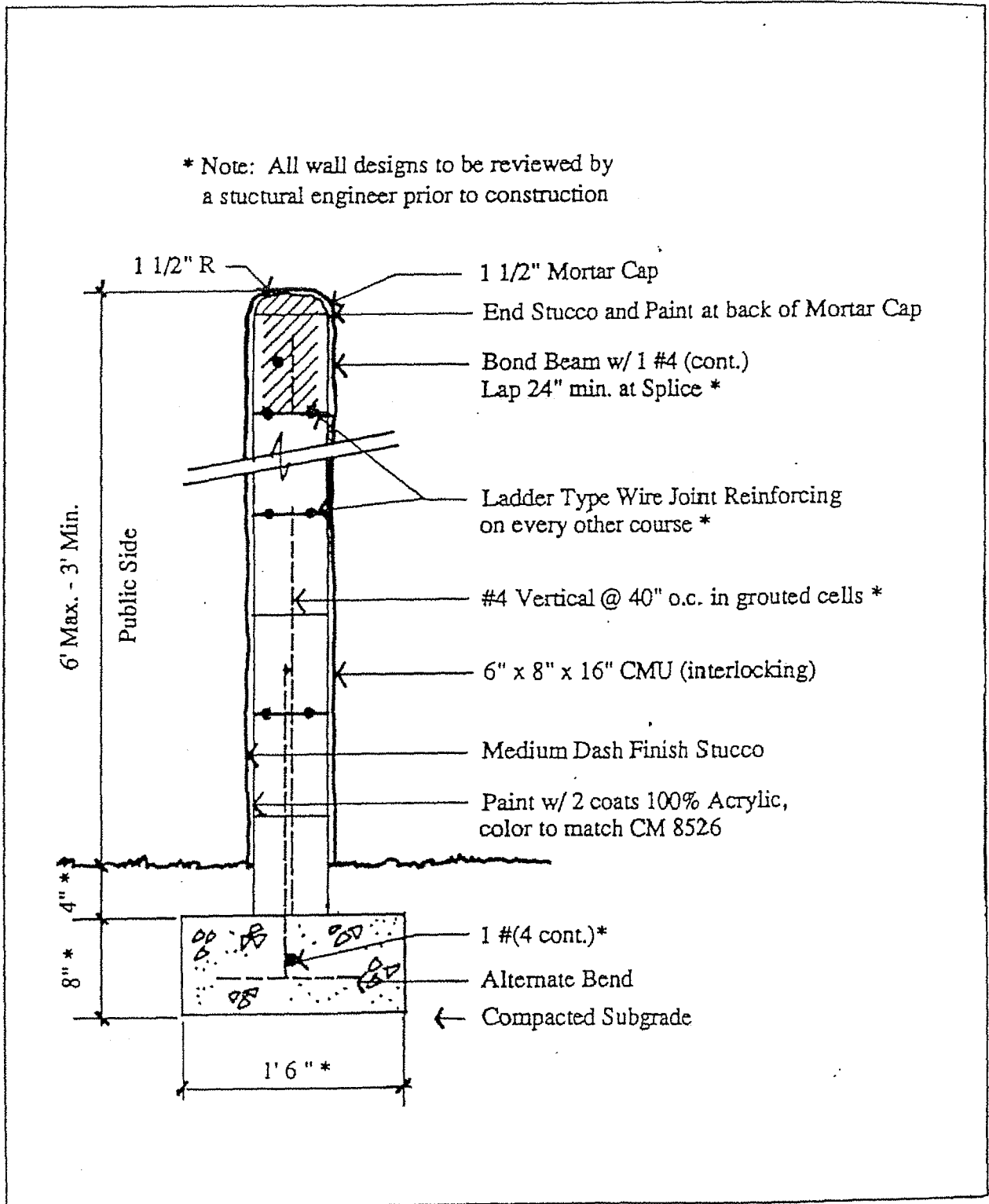
- 3.1.4 Product Wall to Village Wall Connection** - Where a product wall meets a parcel wall, the elevation of the parcel wall shall be met and held for three horizontal courses (48") from the village wall.

Where additional height is required in the product wall, the wall must be at least 48" from the village wall before stepping. Maximum step is 8", with 32" (two courses) horizontal before the next step. Refer to Exhibit 3-4.





* Note: All wall designs to be reviewed by
a structural engineer prior to construction



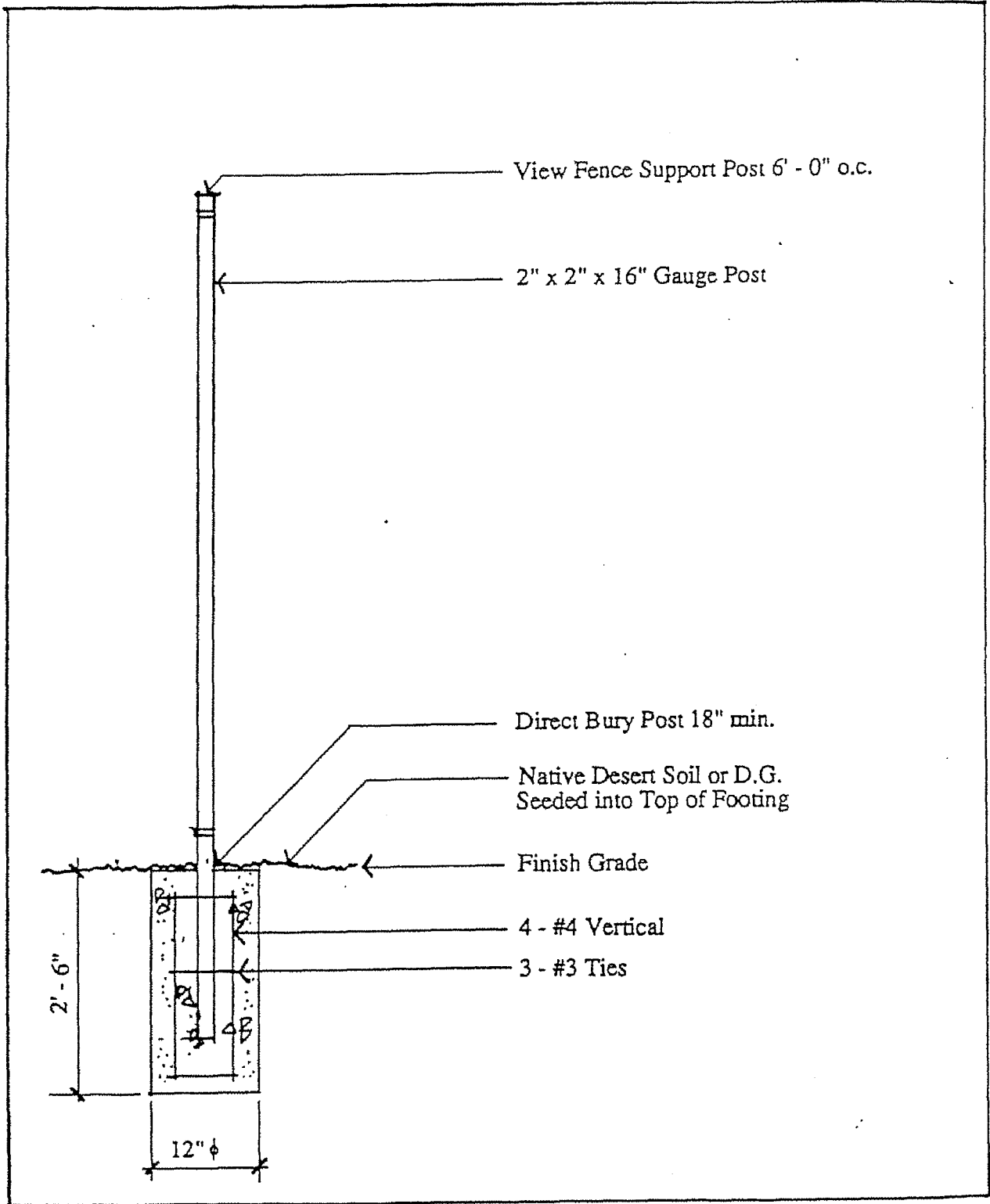


Exhibit: 3-4
View Fence Section

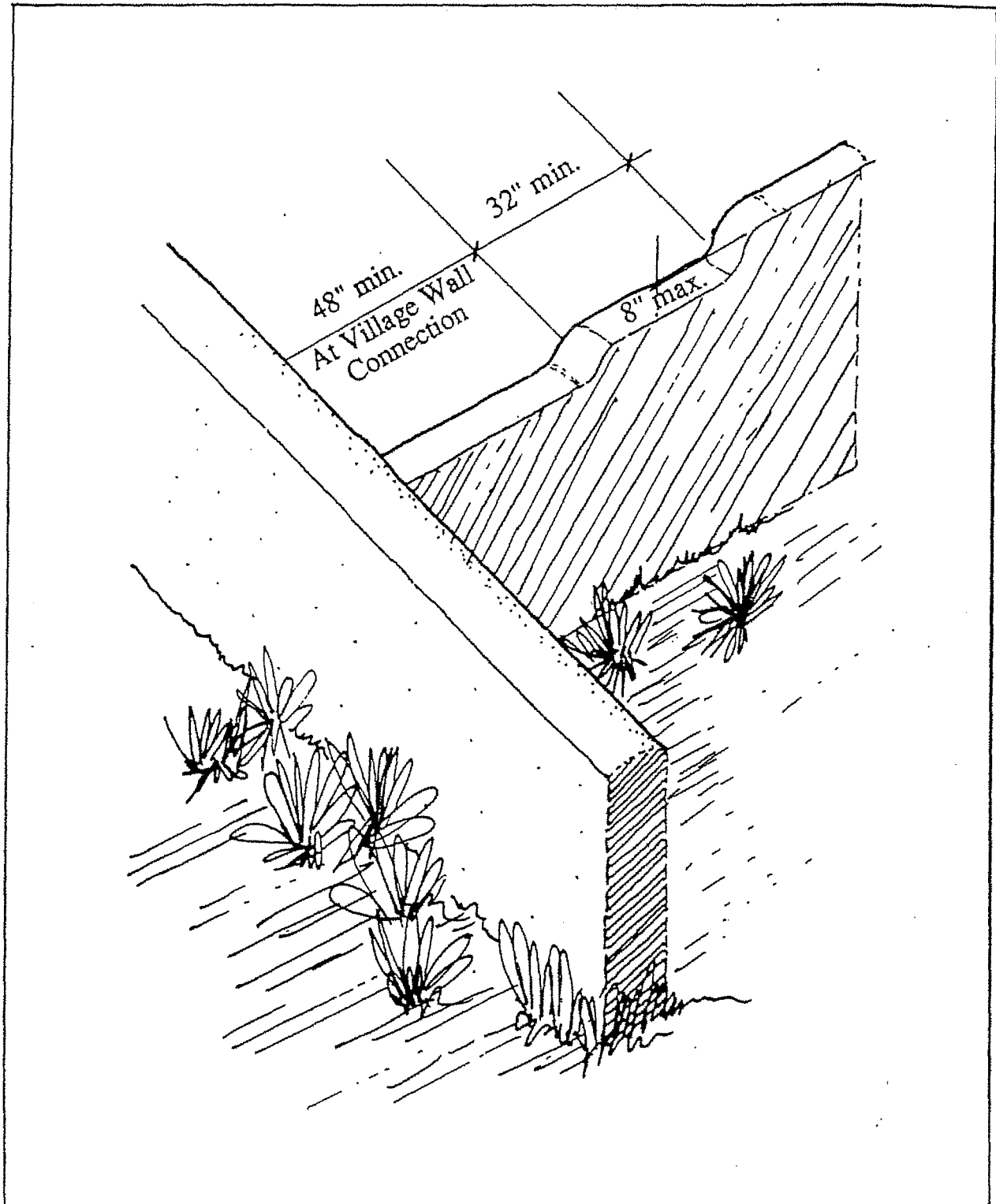


Exhibit: 3-5
Wall Connections

STARR PASS REVIEW COMMITTEE

3645 West Starr Pass Boulevard • Tucson Arizona • 85745 U.S.A. • Tel. (520) 670-0300 • Fax (520) 670-0592

MEMORANDUM

TO: Chris Ansley, Signature Properties International, LP
Jay Hicks, Carter + Burgess
Wally Kulka, Dev-Con Associates
Richard Payne, Starr Pass Golf Club
Sharon Smith, Desert Pass Realty, Inc.

cc. Lenore Leber, Desert Pass Realty, Inc.

FROM: Matthias Schlaepfer, Dev-Con Associates
Tel.(416) 868-1816, Fax (416) 868-1867

SUBJECT: Architectural Design Review
Amendment to
Starr Pass Single-Family Residential Design Guidelines

DATE: 01 October 1997

SECTION 3.3 Product Setbacks

Table B is amended to provide for rear yard setbacks for Amenities reduced to 4 feet in cases where the rear lot line abuts a golf course or common area open space. The minimum setback of 20 feet will continue to apply in cases where the rear lot line abuts another residential lot.

(Amenities are defined under Section 1.3 as to include pools, tennis facilities, exterior pavilions, gazebos, or gathering areas.)



/ms

3.2 PRODUCT ENTRIES

- 3.2.1 Location - The locations of village and parcel entry features shall be determined by the SPRC.
- 3.2.2 Approved Design - Parcel entries shall be designed to provide identity to individual projects, while affording a sense of continuity within Starr Pass. Designs will be developed by Starr Pass with provisions for individual enhancement by each builder. Design enhancement may include surface materials or landscape palette and will be done in conjunction with Starr Pass' landscape architect. Entries will be designed and constructed by the Master Developer and maintained by the Starr Pass Homeowners' Association.
- 3.2.3 Gated Entries - Gated entries shall be permitted if gates and card control stations are designed consistent with the parcel's overall design theme and approved entry design. Gated entries shall be designed as an integral part of the overall entry design and not added after design or construction of the entry.

Gates and card control stations should be located behind setback limits as shown on Exhibit 3-5.

Metal entry gates shall be consistent with the Starr Pass view fence design in size, material, and construction.

Starr Pass
Single Family Design Criteria

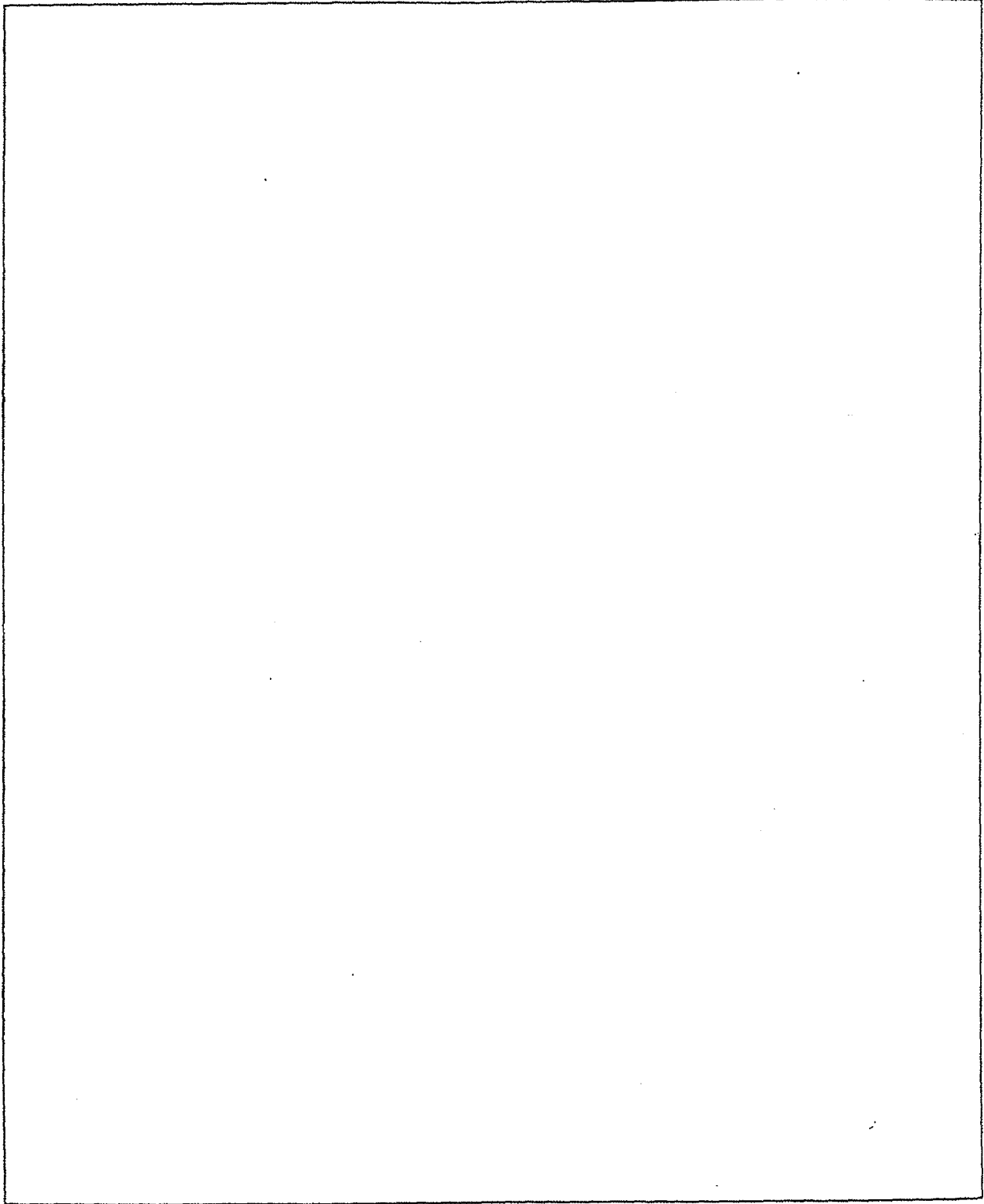


Exhibit: 3-6
Gated Entries

STARR PASS REVIEW COMMITTEE

3645 West Starr Pass Boulevard • Tucson Arizona • 85745 U.S.A. • Tel. (520) 670-0300 • Fax (520) 670-0592

MEMORANDUM

TO: Chris Ansley, Signature Properties International, LP
Jay Hicks, Carter + Burgess
Wally Kulka, Dev-Con Associates
Richard Payne, Starr Pass Golf Club
Sharon Smith, Desert Pass Realty, Inc.

cc. Lenore Leber, Desert Pass Realty, Inc.

FROM: Matthias Schlaepfer, Dev-Con Associates
Tel.(416) 868-1816, Fax (416) 868-1867

SUBJECT: Architectural Design Review
Amendment to
Starr Pass Single-Family Residential Design Guidelines

DATE: 01 October 1997

SECTION 3.3 Product Setbacks

Table B is amended to provide for rear yard setbacks for Amenities reduced to 4 feet in cases where the rear lot line abuts a golf course or common area open space. The minimum setback of 20 feet will continue to apply in cases where the rear lot line abuts another residential lot.

(Amenities are defined under Section 1.3 as to include pools, tennis facilities, exterior pavilions, gazebos, or gathering areas.)



/ms

3.3 PRODUCT SETBACKS

3.3.1 Single Family Detached - Minimum setbacks are outlined in Table B.

Setbacks shall be measured as defined in the Tucson Zoning Code.

To reduce streetscape monotony, 25% of all houses on any given street, shall provide either,

an additional garage door setback (4' minimum) to adjacent residential buildings, or a side loaded garage.

This requirement may be waived if the homes incorporate substantial setbacks within the front elevation.

3.3.2 Single Family Attached - Individual buildings shall not exceed 150' or 5 units in length. Individual units within a single building shall be offset a minimum of 5' to reduce building mass and create visual interest.

TABLE B: PRODUCT SETBACKS

Unit	SFD			SFA		
	F	R	S	F	R	S
Standard Lot	18	15	6	20	15	10
Corner Lot	18	15	15 ⁽¹⁾	20	15	15 ⁽¹⁾
Lot on Golf Course or Natural Open Space ⁽²⁾						
2 story unit	18	30	21	20	30	25
1 story unit	18	20	11	20	20	20
Garage						
Front loaded	18	N/A	6	18	10	10
Side loaded	10	N/A	6	14	10	13
Side Elements						
Porches / Balconies	15	10	6	15	N/A	6
Walls / Fences	15	0	0	15	0	0
Parking Lot	N/A	N/A	N/A	15	5	10
Amenities	N/A	20	10	20	20	10
Ancillary Buildings	25	15	10	25	15	10

(1) Only on side adjoining residential street. Other side to be 6'.

(2) Setback requirements are only for lot line (rear or side) adjoining Golf Course or Open Space.

F = Front

R = Rear

S = Side

3.4 PRODUCT DRIVEWAYS

3.4.1 Driveway Length and Width - Front Loaded Garages

Private, paved driveways are required in all parcels. Maximum width of monolithic paving for all driveways shall not exceed 40% of the lot width, to a maximum of 24'.

For driveways that exceed this standard, decomposed granite or enhanced paving materials (bomanite, pre-cast concrete pavers, brick) will be required for all area in excess of the prescribed width.

Driveway lengths shall be a minimum of 20' clear of curb or sidewalk to the face of the garage door.

3.4.2 Driveway length and width - Side loaded Garages

Driveways for side loaded garages vary from front loaded standards. Maximum width at street shall not exceed 16' and distance from garage door to side yard lot line must be 24'.

3.5 MODEL HOME COMPLEXES

3.5.1 Parking - Model home parking lots shall be paved in asphalt, concrete, or decomposed granite with concrete, metal or wood edging. A minimum of eight spaces shall be provided with one handicapped space. All lots shall be landscaped in accordance with Section 5.4, and shall be screened from adjacent parcels and community open space.

3.5.2 Signage - Signage should have an appearance of permanence and quality in keeping with the overall project concept. Refer to the Section 3.6.

3.5.3 Walls - The parcel wall is to be stuccoed and painted on the parcel side where the wall adjoins and faces the model home parking or is visible from the models.

3.5.4 Fencing - Temporary fencing shall be consistent in color and style with the Starr Pass view fence. White picket, chain link or wooden fences are prohibited.

3.5.5 Temporary Sales Trailers - Temporary sales trailers are not permitted at Starr Pass unless approved by the SPRC.

3.6 MARKETING SIGNAGE

3.6.1 **Starr Pass Logo** - The 'Starr Pass' logo and name are reserved. Use of the logo on project entry signs, or for any other purpose, must be approved in writing by Starr Pass.

3.6.2 **Off-Site Marketing Signage** - Temporary off-site or on-site sales, directional, or stab signs shall not be allowed except those provided by Starr Pass to direct traffic to parcels and community facilities during construction and sales.

3.6.3 **Parcel Marketing Signage** - Parcel signs on Single Family residential parcels are limited to the following types and quantities for each single family, town home or apartment development parcel or project. No sign shall be installed until it is approved in writing by SPRC.

- o **On-site Sales Signs** - two temporary project signs (one for term of project, one permitted with six-month renewable permit) may display product name, prices, builder's name, financing and any other features that describe the project. The sign shall be designed and built by Starr Pass, and paid for by the Builder.

- o **On-site Parking Directional** - parking or parking directional signs may be provided on each parcel for model home parking and guest parking. This sign shall be designed in conjunction with Starr Pass, and built and paid for by the Builder.

- o **Model Home I.D. Sign** - one sign per model home may be provided showing the name of the model and/or plan designation. The sign face shall not exceed 3 s.f., and the message shall not exceed 2 s.f.

- o **Sales Information Sign** - one sign may be provided at the front of the sales office indicating the project logo and "Sales Information". The sign shall be the same size, shape and format shall be designed in conjunction with Starr Pass, and built and paid for by the Builder.

- o **Balloons, Beacons & Banners** - Balloons, beacons or banners are not permitted except as may be approved by Starr Pass for special events or community-wide marketing programs.

3.7 PRODUCT CONSTRUCTION GUIDELINES

3.7.1 **General** - The builder and their subcontractors shall exercise extreme care to protect the public health, safety and welfare during all phases of construction. This includes proper warning signage, fencing of dangerous conditions and providing security services when deemed necessary by Starr Pass.

3.7.2 **Nuisance Control** - Construction operations or activities shall not create nuisances that impact areas outside of the Development Block including;

- Change of air temperature or humidity.
- Dust or other airborne particulate matter.
- Glare from lighting or reflective materials.
- Excessively loud noise for long periods of time.

Starr Pass may enact strict procedures, operational time frames, temporary or permanent, at any time to ensure noise and dust abatement measures are taken by builders or their subcontractors.

3.7.3 **Concrete Wash-Out** - Washing out of concrete trucks, chutes or tools shall not be permitted unless in areas approved by SPRC.

Fines up to \$1,000 for each infraction will be levied on the Builder, regardless of subcontractor responsible.

3.7.4. **Protection of Natural Open Space/ Vegetation** - All natural areas outside the development block shall be protected by erecting a construction fence (chain link, plastic mesh, etc.) to prevent vehicles, trash or construction staging from occurring outside the prescribed development area. In the event that a builder or their subcontractors damage areas of natural open space, the builder shall immediately restore the damaged area to its original condition as approved by the SPRC.

Vegetation within the development block, deemed important to the character of the development, shall also be fenced by the builder to a minimum of 3' outside the existing drip line or other limit designated by the SPRC, and protected during the course of construction. In the event that these designated materials are damaged by the builder or their subcontractors, a replacement assessment will be made against the builder as follows;

- Native trees- \$150.00 per caliper inch
- Saguaros - \$150.00 per vertical foot plus \$500.00 per arm.
- Succulents and Scrub - \$100.00 each

3.7.5 **Cleanliness** - All areas shall be kept free of trash, materials and waste which can be carried by the wind. The site shall be left in a neat and orderly condition at the close of each workday, with scrap material and debris disposed of in covered receptacles, and such receptacles collected and emptied at least once per week. Hazardous debris and material shall be removed from the site each day, and no hazardous material shall be stored on the site overnight.

All streets internal to the parcel shall be mechanically swept twice a week. External streets shall be cleaned by the Master Developer. However, if a parcel contractor or its subcontractors are deemed responsible for excessive street debris, cleaning costs will be back-charged to that contractor.

No trailers for temporary living quarters shall be allowed on-site. Construction trailers may be allowed subject to approval by Starr Pass.

- 3.7.6 **Construction Access** - The builder shall designate a construction entry to the project, subject to Starr Pass' approval and all contractors must use this entry. Primary parcel or sales entry cannot be used for construction access.
- 3.7.7 **Contractors** - All contractors shall be properly licensed and bonded with the City of Tucson and the State of Arizona and shall meet all appropriate legal requirements.
- 3.7.8 **Damage Repair** - Each builder has the direct responsibility for the control of their contractors and the actions of said contractors. All liability for violations of the Declaration or Design Guidelines caused by subcontractors shall rest with the builder.

SECTION 4.0
ARCHITECTURAL DESIGN GUIDELINES

4.1 INTRODUCTION

In keeping with Starr Pass' theme of promoting compatible diversity in its builder product, a single architectural style is not mandated. Architecture that reflects the southwest's climate and design heritage is encouraged and may take the form of contemporary southwest, traditional southwest, early California bungalow or ranch styles.

However, the SPRC will strictly enforce design values associated with the scale of front elevations, level of detail and interest, street-friendliness of units, use of shade and shadow, and design of any elevation that faces onto publicly visible locations such as streets, the golf course, trails and open space.

The following standards are intended to foster good design. The SPRC will review any alternative proposal that does not meet the letter of these standards, but achieves their intent.

4.2 FRONT ELEVATIONS

4.2.1 Front Elevation Variation - Adjoining residences cannot have the same floor plan or front elevation. However, opposite hand footprint with variation in elevational detailing is permitted.

4.2.2 Porches and Front Courtyards- At grade front porches are required in a limited percentage of residential units, based on projected market level. Each porch must equal or exceed a pre-determined square footage.

A front courtyard defined by a 3' perimeter wall and small entry gate may be substituted for a front porch. An paved patio area equivalent to the prescribed front porch square footage shall be provided in conjunction with the courtyard.

**Percent of Units
with Porches:**

Entry Level (\$100-\$125k)	25%
Move-up (\$125-150k)	50%
Executive (\$150+k)	75%

**Minimum Porch
Size:**

Entry	25 sf
Move-up	72 sf
Executive	120 sf

4.2.3 Balconies - Second floor balconies are required in a limited percentage of residential units, based on projected market level, and located on publicly visible elevations.

**Percent of Units
with Balconies:**

Entry	0
Move-up	50%
Executive	75%

**Minimum Balcony
Width / Depth:**

Entry	N/A
Move-up	6 / 3
Executive	8 / 4'

4.2.4 Front Doors - Front doors and entryways shall provide a focal point to the home and be visible from the street. All doors shall be recessed a minimum of 8", and be trimmed with a minimum of a stucco wrapped 2" x 8" or comparable trim detail. Front doors shall have a minimum level of detail including 6 panel or other level of relief.

Move-up and executive units shall incorporate a minimum of one sidelight into the front door design.

4.2.5 Garage doors - Garage doors shall be sectional metal roll-up. Wood overhead garage doors are not permitted. Garage doors shall be recessed a minimum of 24" from the face of the garage exterior plane, or surrounded by a 2" x 8" pop-out and recessed 12".

Door lites are required for 50% of move-up and executive homes and are optional on entry level units. A minimum of three door styles (lite shape, recess design, etc.) are required for all units. No more than two of the same style of door may be used adjacent to one another in a single street elevation.

4.2.6 Front Windows - All windows in the front elevation shall be recessed a minimum of 2", or trimmed with a stucco wrapped 2" x 6", or combination. Flush windows are not permitted.

All windows in the front elevation shall be multi-lite windows, with the exception of one large picture window associated with the major interior living space. Each front elevation shall have a minimum of one feature window (round, fan, punched square, incorporated into the front elevation.

4.2.7 Bonus Rooms - Homes with bedrooms or bonus rooms above the garage require a minimum five-foot setback from the garage facade, and a 4' setback from the side walls of the garage for the first 10'. However, a bedroom or balcony that is no more than 50% of the garage width may overhang the garage by 2'.

4.2.8 Fascias - Fascias shall be a minimum of a 2"x8", or rolled stucco equivalent.

4.3 SIDE AND REAR ELEVATIONS

- 4.3.1 Side Elevation- Side elevations visible from the street, golf course, or natural open space shall be;
- one-story for a 10' depth or ;
 - provide and increased setback in accordance with Section 3.4, or ;
 - have major one-story roof elements adjacent to the public areas.

Windows on publicly visible side elevations shall comply with standards for front elevation, and shall be increased in quantity by 25% over the typical side elevation design.

Corner lots that present the side of the house to a public street shall be designed for entry from the exposed side, and shall be detailed consistent with the standards for front elevations.

Side elevations adjacent to another home with minimum side yard setbacks cannot be mirrored floor plans. Bay windows and pop-outs are discouraged at minimum side yard conditions.

- 4.3.2 Rear Elevation - Two-story rear elevations which are clearly visible from streets, golf course, and natural open space shall incorporate bay windows, pop-outs, recessed windows, balconies, and/or second floor overhangs. Varied wall treatments and accent materials consistent with front elevation standards shall be required for rear elevations visible from public areas.

Rear elevations adjacent to the golf course or natural open space shall provide an increased setback in accordance with Section 3.4.

4.4 ROOFS

4.4.1 **General** - Variety in roof lines is required to minimize a homogenous ridge line along the street elevation. Rooflines of adjoining residences are required to vary ridge heights, vary direction of gables, and blend roof forms.

4.4.2 **Permitted Rooflines** - Each architectural style shall design within the guidelines outlined below for roof pitch and style.

Form- Gable, hip, flat
Pitch (main roof and porches)

4.4.3 **Roof Overhang** - Roof overhangs shall be a minimum of 12" at the rakes and eaves for Entry level homes and 24" for Move-up and Executive homes.

4.4.4 **Approved Roof Materials** - A variety of roof finish materials is encouraged to ensure visual relief, interest and contrast.

The following materials are approved for usable:

Non-glazed terra cotta and concrete tile in "barrel," "S," "flat," and "shake" configuration.

Poured concrete "Bermuda" type.

Non-reflective, standing seam metal.

Flat roofs shall be ballasted with site compatible gravel or painted/coated to match the building color.

*NOTE: All roof material colors are subject to design review approval.

4.5 MATERIALS PALETTE

4.5.1 General - Exterior elements and materials chosen should be compatible with one another in an appropriate scale for the building, and appropriate to the parcel's architectural theme.

All surface treatments or materials shall be designed to appear as an integral part of the design, and not applied. All materials shall wrap columns, porches, or balconies in their entirety.

Material changes should occur at inside corners. Materials applied to the front elevation shall turn the corner of the structure a full 2' before terminating.

At raised footing conditions, siding materials shall be continued down to within six inches of finished grade.

4.5.2 Approved Materials -the following materials are approved for use in Starr Pass residential products; (submittal of actual materials required).

Stucco/ synthetic stucco - "smooth" steel trowel or light to medium dash finish. Spanish lace and heavy trowel finishes are not permitted.

Masonry - CMU; either split face, honed or striated. Split fin and slump block are not permitted.

Stone - Stone veneers with honed or natural split face finishes. Cultured stone veneers are prohibited.

Wood - Wood may be used in limited applications if properly installed, braced or bracketed to prevent unsightly twisting and warping. Wood should be used as an accent trim or for trellises and pergolas.

Pre-cast Concrete - Pre-cast concrete elements such as columns, pots, or window sills and lintels are encouraged. Ornate concrete balustrades are prohibited.

Metal - Metal accents such as railings and gates are encouraged if properly prepared, (i.e. galvanized or primed to prevent rusting).

Ceramic Tile - Ceramic tile may be used to provide an accent of color to each unit, at the window sill, as a accent above the window or door, on chimneys, or incorporated into the wall elevation.

Fabric - Fabric awnings provide an accent of color and softness to the harsh appearance of many building materials used in the southwest. If fabric is used it should be fastened securely and used in small quantities given its limited durability in this climate.

4.5.3 Prohibited Materials - Materials that are foreign to the local region or inappropriate to the surrounding project are prohibited. These include mirrored glass, wood siding, cultured marble and other cultured stones, asphalt shingles, wood shingles, and brick.

4.6 CHARACTER ELEMENTS AND ARCHITECTURAL DETAILING

- 4.6.1 **Chimneys** - Chimneys shall be designed to be in scale and proportioned with the architecture of the building. Chimney tops shall incorporate materials consistent with the detailing of the principal elevations. Open screen spark arrestors should be avoided in favor of spark arrestors with metal sides.
- 4.6.2 **Trellises and Arbors** - Trellises and arbors provide shade and shadow variation on principal elevations. They shall be designed and detailed to maintain their appearance in the desert climate, detailed with blocking and metal fasteners to minimize twisting of wooden members.
- 4.6.3 **Exterior Lighting** - Exterior lighting enlivens the nighttime street scene and improves security. A minimum of one incandescent light fixture shall be located on one side of the garage door or at the unit's front door. Lighting in the front yard or at the street are prohibited.

Exterior lighting shall incorporate photocells and timers to provide automatic on and off consistent throughout the project.

4.7 COLOR

- 4.7.1 **Approved Colors** - The approved color chart for Starr Pass is shown in Exhibit 4-1. The basic intent for colors is to be subdued to enhance the colors of the natural landscape. Deep rich colors, derived from the surrounding desert and landscape are preferred. However, accent colors, used with restraint are permitted to increase the project's variety.
- 4.7.2 **Reflectance** - Deep, rich colors shall be used to prevent light reflectance of the projects onto the distant viewshed. No color selected shall exceed 48% reflectance.
- 4.7.3 **Color Variation** - Builders are required to provide two or more color palettes per parcel to create interesting neighborhood street scenes. Specific color scheme requirements for individual homes are described below:

Entry level homes shall use a minimum of two field (wall) colors and one accent/trim color. The front door of each unit shall be painted or stained a contrasting color to the unit's field color.

Move-up level homes shall use a minimum of two field colors and two accent/trim colors.

Executive level homes shall use a minimum of two field colors and two accent/trim colors.

Enhancing material such as stone, fabric awning, ceramic tile, wrought iron, etc., may be substituted for an accent color.

Builders are to submit color palettes as part of the design review process. Refer to Section 2.0.

4.8 FUNCTIONAL ELEMENTS

- 4.8.1 **Mechanical Appurtenances** - No mechanical appurtenance (air conditioning / heating units, etc.) shall be mounted on or attached to any roof. Air conditioning units must be behind a screen wall and not visible from the street or other primary views, i.e. golf course.
- 4.8.2 **Vents and Stack Pipes** - Stack pipes and mechanical vents shall be limited in number and painted to blend with the roof color. To the greatest extent possible pipes should be clustered and located on the rear side of the roof, or a location out of public view.
- 4.8.3 **Solar Panels** - Roof mounted solar panels and equipment shall match the roof in color and appearance. Panels shall be an integrated part of the roof design and mounted directly to the roof plane. Roof mounted hot water storage systems shall not be visible from neighboring property or community open space.
- 4.8.4 **Satellite Dishes** - Satellite dishes shall be prohibited unless otherwise approved by the SPRC based on lit size and proposed screening techniques, ground mounted and painted to blend with landscaping, and be sited so as not to be visible from public R.O.W.s and community open space.
- 4.8.5 **Antennae** - No type of antennae, television, amateur radio, or other shall be permitted within Starr Pass unless approved by the SPRC.
- 4.8.6 **Security Bars** - Security bars and doors are prohibited under the Starr Pass Master Declaration of CC &R's.

SECTION 5.0 PARCEL LANDSCAPE GUIDELINES

5.1 LANDSCAPE CONCEPT

The overall landscape concept for Starr Pass is to compliment and enhance the existing native desert with indigenous plant material in publicly visible areas, and create small 'focus' areas of color and oasis with non-native plant materials that are hardy to desert conditions.

Landscape along streets, within amenity core areas, and restoration or buffer enhancement along the golf course shall be installed by the builder prior to close of units consistent with project progress or phases..

Landscape in the front yards of residential lots will be installed by the builder prior to the close of sale of each unit.

5.2 PARCEL LANDSCAPE

5.2.1 Street Landscape - Areas disturbed by street, residential or amenity construction, and not fronting or adjoining a residential lot shall be restored in a manner consistent with the surrounding native desert. Minimum standards include one (1) 24" box tree for every 50' linear feet and hydroseeding the entire area disturbed per the seed mix outlined in 5.5.2.

5.2.2 Street Landscape Adjacent to Walls - Where a product wall adjoins a street a 4' minimum setback is required between the back of curb and wall. This setback shall be considered a part of the adjoining residence's lot, and shall use a landscape palette consistent with the parcel theme. Minimum requirements include 50% organic ground coverage at 1 year growth, and 1 tree for every 50 linear feet of wall.

5.2.3 Landscape Adjacent to the Golf Course - For parcels adjoining the golf course, native landscape shall be installed adjacent to any product wall for a minimum depth of 30' into the golf course safety zone. Planting density and plant palette shall be designed in conjunction with Starr Pass' landscape architect and golf course maintenance crew installed by Starr Pass, and paid for by the Builder. Irrigation sources shall be provided by the golf course.

5.2.4 Slope Stabilization - Slopes adjoining natural open space, created as a part of parcel grading, shall be landscaped and irrigated in a manner, coverage, and palette consistent with the landscape area they adjoin and approved by Starr Pass' landscape architect.

Slopes internal to the parcel, but publicly visible must be landscaped in accordance with Section 5.3.1. The slope area will be required to be maintained by the homeowner whose lot contains the slope.

Paved, concrete or gunited, or soil cement stabilization of any slope is prohibited at Starr Pass.

5.3 RESIDENTIAL LOT LANDSCAPE

5.3.1 Front Yard Landscape - Front yard landscape shall be installed by the builder prior to the unit's close of sale. Front yards shall be landscaped according to following standards, using materials from the approved plant list.

Front yards shall include a minimum of :

- Two (2) 24" box trees with at least one tree of similar size and species, located in a constant location relative to back of curb and distance on center.
- One (1) saguaro may be substituted for a tree, in 33% of the lots.

Ground cover to provide a minimum of 40% organic coverage of the non paved area at the end of one year. Turf is prohibited.

Foundation planting with sufficient size and quantity (spacing) to afford complete coverage of the visible portion of the residence's foundation within one (1) year from installation. Additionally, each planting must contain at least two different species of shrubs and no two adjoining residences shall use the same planting plan.

Non-organic areas mulched with a minimum of 2" of decomposed granite as specified in 5.5.3.

Percentages shown for ground plane and foundation planting coverages are at one (1) year's growth. Spacing and installed sizes of plant material need to anticipate growth patterns of specific plant materials, and be sized accordingly to achieve this standard.

5.3.2 Side Yard Landscape - Side yards that are publicly visible (adjoining streets, golf course, and natural open space) shall be landscaped by the builder in accordance with the standards outlined in 5.3.1 for front yards.

5.3.3 Backyard Landscape - It is envisioned that individual homeowners will be responsible for installing backyard landscape. However, the concept for all private areas including backyards, side and front courtyards, is to assure that exotic and non-native plant materials are not visible from the golf course, roadways or open space.

Therefore, shade trees, flowering materials and other approved plant material in Section 5.5.4, shall be planted, pruned and maintained in a manner that assures it is not visible from public areas on the site.

5.4 MODEL HOMES LANDSCAPE

5.4.1 Model Homes - Model home area (including model homes, parking lots, and drives) landscape shall be designed and installed for immediate impact. Model Home planting concept shall be consistent with the parcel landscape. Landscape quantity and size shall be 1 1/2 times the minimum standards outlined in Sections 5.3.1 and 5.5.1.

5.5 MATERIAL SPECIFICATIONS

5.5.1 Minimum Sizes - All landscaping materials installed at Starr Pass by builders must comply with the following minimum size standards as measured by the Arizona Nursery Growers Association.

5.3 RESIDENTIAL LOT LANDSCAPE

5.3.1 Front Yard Landscape - Front yard landscape shall be installed by the builder prior to the unit's close of sale. Front yards shall be landscaped according to following standards, using materials from the approved plant list.

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Percentages shown for ground plane and foundation planting coverages are at one (1) year's growth. Spacing and installed sizes of plant material need to anticipate growth patterns of specific plant materials, and be sized accordingly to achieve this standard.

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<u>Vegetation Type</u>	<u>Minimum Size Standards</u>
Tree	1 3/4" caliper or 24" box
Saguaro	6' height
Ocotillo	8' height, 10 canes min.
Shrubs/ Succulents	5 gallon
Groundcovers	1 gallon

5.5.2 Hydroseed Specification - Hydroseed shall be applied following bed preparation including rototilling areas to be seeded to a depth of 6", raked smooth and prepared with applications of "Grow Power" (at a rate of 1000 lbs/ac) and Ammonia Phosphate (at a rate of 300 lbs/ ac).

Revegetation seed mix shall be applied within a hydromulch fiber (at a rate of 1800 lbs/ac) in accordance at the following ratio:

<u>Seed Type</u>	<u>Rate lbs/ ac (pure live seed)</u>
Brittle Bush	1.5
Bursage	4.0
Creosote	4.0
White Thorn Acacia (scarified)	2.0
Foothills Palo Verde (scarified)	2.0
Catclaw Acacia (scarified)	2.0
Desert Globe Willow	.5
Desert Marigold	1.0
Mexican Poppy	3.0
Desert Lupine	3.0
Mojave Bluebells	1.0
Penstemon Parryi	.5
Penstemon	.5
Owls Clover	.5

5.5.3 Decomposed Granite - Decomposed granite mulch used in all publicly visible areas of Starr Pass shall be Palomino Coral, 1/2" minus, available form Kalamazoo Materials, Tucson Arizona; or approved equal.

5.5.4 Approved Plant List - Publicly Visible Areas

The following plant materials are premitted for use in areas visible to public areas including streets, golf course and clubhouse.

Trees

Minimum 24" box size.

Acacia minuta (farnesiana)	Sweet Acacia
Acacia schaffneri	Twisted Acacia
Acacia smallii	Desert Sweet Acacia
Acacia stenophylla	Shoestring Acacia
Cercidium floridum	Blue Palo Verde
Cercidium microphyllum	Littleleaf Palo Verde
Cercidium praecox	Palo Brea
Chilopsis linearis	Desert Willow
Olneya tesota	Ironwood
Pithecellobium flexicaule	Texas Ebony
Prosopis alba	Argentine Mesquite
Prosopis chilensis	Chilean Mesquite
Prosopis glandulosa	Honey Mesquite
Prosopis pubescens	Screwbean Mesquite
Prosopis velutina	Velvet Mesquite

Shrubs

Minimum 5 gallon size.

Acacia constricta	White Thorn Acacia
Acacia greggii	Catclaw acacia
Ambrosia deltoidea	Bur-Sage
Asclepias subulata	Desert Milkweed
Atriplex lentiformis	Quail Bush
Buddleia marrubifolia	Woolly Butterfly Bush
Caesalpinia gilliesii	Yellow Bird of Paradise
Caesalpinia pulcherrima	Red Bird of Paradise
Calliandra californica	Baja Fairy Duster
Calliandra eriophylla	Fairy Duster
Cassia artemisioides	Feathery Cassia
Cassia nemophila	Green Feathery Cassis
Cassia phyllodenia	Silver Leaf Cassia
Cassia wislizenii	Shrubby Cassia
Celtus pallida	Desert Hackberry
Cordia parvifolia	Littleleaf Cordia
Dalea pulchra	Pea Bush
Dasyilirion wheeleri	Desert Spoon
Dodonea viscosa	Hop Bush

Encelian Farinosa
Ericameria laricifolia
Eriogonum fasciculatum
Fouquieria splendens
Hesperaloe parviflora
Justicia californica
Justicia spicigerackle
Lantana camara
Larrea tridentata
Leucophullum candium
Leucophullum frutescens
Leucophullum laevigatum
Salvia chamaedryoides
Salvia greggii
Simmondsia chinensis
Sophora secundiflora
Yucca baccata
Yucca elata

Groundcovers/Vines
Minimum 1 gallon size.

Acacia redolens
Baccharis 'Centennia'
Dalea greggii
Dyssodia pentachaeta
Gazania rigens
Lantana montevidensis
Oenothera berlandieri
Oenothera caespitosa
Oenothera stubbei
Verbena gooddingii
Verbena peruviana
Verbena pulchella
Verbena rigida
Zinna grandiflora

Cacti/Succulents
Minimum 5 gallon size unless otherwise noted.

Agave chrysantha
Agave colorata
Agave victoriae-reginae
Agave vilmoriniana
Aloe barbadensis

Brittlebush
Turpentine Bush
Buckwheat
Ocotillo
Corral Yucca
Chuparosa
Desert Honeysuckle
Lantana
Creosote Bush
Cenizo
Texas Ranger
Chihuahuan Sage
Mexican Blue Sage
Texas Red Sage
Jojoba
Texas Mountain Laurel
Banana Yucca
Soap Tree Yucca

Trailing Acacia
Desert Broom (hybrid)
Trailing Smoke Bush
Golden Fleece
Gazania
Trailing Lantana
Mexican Evening Primrose
White Primrose
Saltillo Primrose
Gooding Verbena
Peruvian Verbena
Moss Verbena
Verbena
Prairie Zinnia

Century Plant
Century Plant
Queen Victoria's Agave
Octopus Agave
Medicinal Aloe

Carnegiea gigantea (Minimum 6' height)
Echinocereus engelmannii
Echinocereus grasonii
Ferocactus acanthodes
Mammillaria microcarpa
Opuntia acanthocarpa
Opuntia basilaris
Opuntia bigelovii
Opuntia engelmannii
Opuntia fulgida
Opuntia leptocaulis
Opuntia violacea

Perennials/Annuals
Minimum 1 gallon size.

Baileya multiradiata
Eschscholtzia mexicana
Lupinus sparsiflorus
Melampodium leucanthum
Penstemon eatoni
Penstemon parryi
Penstemon superbus
Rafinesquia species
Salvia columbariae
Senna covesii
Sphaeralcea ambigua
Tagetes lemmoni
Verbena gooddingii
Verbena rigida
Zauschneria latifolia

Saguaro
Hedgehog Cactus
Golden Barrel
Compass Barrel
Fishhook poncushion
Buckhorn Cholla
Beavertail Prickly Pear
Teddy Bear Cholla
Desert Prickly Pear
Chain Fruit Cholla
Desert Christmas Cactus
Purple Prickly Pear

Desert Marigold
Mexican poppy
Lupine
Blackfoot Daisy
Firecracker Penstemon
Parry's Penstemon
Beard Tongue
Desert Chicory
Chia
Desert Senna
Globe mallow
Mt. Lemmon Marigold
Verbena
Verbena
California fuchsia

5.5.5 Approved Plant List - Private Courtyards and Amenity Areas

The following plant materials are permitted within private courtyards and amenity areas not visible from the public areas including streets, golf course and clubhouse. Additionally, planting within the private courtyards and amenity areas are not allowed to grow above the roof peak except as approved by SPRC.

Trees

Minimum 24" box size.

Acacia minuta (farnesiana)	Sweet Acacia
Acacia schaffneri	Twisted Acacia
Acacia smallii	Desert Sweet Acacia
Acacia stenophylla	Shoestring Acacia
Cercidium floridum	Blue Palo Verde
Cercidium microphyllum	Littleleaf Palo Verde
Cercidium praecox	Palo Brea
Chilopsis linearis	Desert Willow
Olneya tesota	Ironwood
Pithecellobium flexicaule	Texas Ebony
Prosopis alba	Argentine Mesquite
Prosopis chilensis	Chilean Mesquite
Prosopis glandulosa	Honey Mesquite
Prosopis pubescens	Screwbean Mesquite
Prosopis velutina	Velvet Mesquite

Palm Trees

Minimum 5 gallon size.

Cycas revoluta	Sago Palm
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Shrubs

Minimum 5 gallon size.

Acacia constricta	White Thorn Acacia
Acacia greggii	Catclaw acacia
Ambrosia deltoidea	Bur-Sage
Asclepias subulata	Desert Milkweed
Atriplex lentiformis	Quail Bush
Aucuba japonica	Japanese Aucuba
Buddleia marrubifolia	Woolly Butterfly Bush
Caesalpinia gilliesii	Yellow Bird of Paradise
Caesalpinia pulcherrima	Red Bird of Paradise
Calliandra californica	Baja Fairy Duster
Calliandra eriophylla	Fairy Duster
Carissa grandiflora	Natal plum

Cassia artemisioides
 Cassia nemophila
 Cassia phyllodenia
 Cassia wislizenii
 Celtis pallida
 Cordia parvifolia
 Cotoneaster species
 Cyperus alternifolius
 Dalea pulchra
 Dasylirion wheeleri
 Dodonea viscosa
 Encelian Farinosa
 Ericameria laricifolia
 Eriogonum fasciculatum
 Fatsia japonica
 Fouquieria splendens
 Hesperaloe parviflora
 Hibiscus rosa-sinensis
 Justicia californica
 Justicia spicigerackle
 Lantana camara
 Larrea tridentata
 Leucophyllum candium
 Leucophyllum frutescens
 Leucophyllum laevigatum
 Myrtus communis 'Compacta'
 Nandina domestica
 Nerium oleander 'Compact Species'
 Pennisetum setaceum
 Philodendron species
 Plumbago auriculata
 Pyracantha species
 Raphiolepis indica
 Salvia chamaedryoides
 Salvia greggii
 Simmondsia chinensis
 Sophora secundiflora
 Strelitzia reginae
 Tecomaria capensis
 Yucca elata
 Yucca recurvifolia

Feathery Cassia
 Green Feathery Cassia
 Silver Leaf Cassia
 Shrubby Cassia
 Desert Hackberry
 Littleleaf Cordia
 Cotoneaster
 Umbrella Plant
 Pea Bush
 Desert Spoon
 Hop Bush
 Brittlebush
 Turpentine Bush
 Buckwheat
 Japanese Aralia
 Ocotillo
 Corral Yucca
 Chinese Hibiscus
 Chuparosa
 Desert Honeysuckle
 Bush Lantana
 Creosote Bush
 Cenizo
 Texas Ranger
 Chihuahuan Sage
 Compact Myrtle
 Nandina
 Dwarf Oleander
 Fountain Grass
 Philodendron
 Cape Plumbago
 Pyracantha
 Indian Hawthorn
 Mexican Blue Sage
 Texas Red Sage
 Jojoba
 Texas Mountain Laurel
 African Bird of Paradise
 Cape Honeysuckle
 Soap Tree Yucca
 Pendulous Yucca

Groundcovers/Vines
 Minimum 1 gallon size.

Acacia redolens
Asparagus densiflorus 'Sprengeri'
Aspidistra elatior
Baccharis 'Centennia'
Bougainvillea species
Carpobrotus edulis
Cissus trifoliata
Dalea greggii
Dyssodia pentachaeta
Ficus pumila
Gazania rigens
Hedera helix
Lantana montevidensis
Liriope muscari
Lonicera japonica 'Halliana'
Oenothera berlandieri
Oenothera caespitosa
Oenothera stubbei
Ophiopogon japonica
Osteospermum furticosum
Parthenocissus quiquefolia
Rosmarinus officinalis
Santolina species
Verbena gooddingii
Verbena peruviana
Verbena pulchella
Verbena rigida
Vinca major
Zinna grandiflora

Trailing Acacia
Sprenger asparagus
Cast-Iron Plant
Desert Broom (hybrid)
Bougainvillea
Ice Plant
Arizona Grape Ivy
Trailing Smoke Bush
Golden Fleece
Creeping Fig
Gazania
English Ivy
Trailing Lantana
Lilyturf
Hall's Honeysuckle
Mexican Evening Primrose
White Primrose
Saltillo Primrose
Mondo Grass
Trailing African Daisy
Virginia Creeper
Rosemary
Lavender Cotton
Gooding Verbena
Peruvian Verbena
Moss Verbena
Verbena
Periwinkle
Prairie Zinnia

Cacti/Succulents

Minimum 5 gallon size unless otherwise noted.

Agave chrysantha
Agave colorata
Agave victoriae-reginae
Agave vilmoriniana
Aloe barbadensis
Carnegiea gigantea (Minimum 6' height)
Echinocereus engelmannii
Echinocereus grusonii
Ferocactus acanthodes
Mammillaria microcarpa
Opuntia acanthocarpa
Opuntia basilaris

Century Plant
Century Plant
Queen Victoria's Agave
Octopus Agave
Medicinal Aloe
Saguaro
Hedgehog Cactus
Golden Barrel
Compass Barrel
Fishhook poncushion
Buckhorn Cholla
Beavertail Prickly Pear

5.5.6 Prohibited Planting Materials

The following plant materials are prohibited from use within Starr Pass due to unwanted plant character and/or excessive pollen producers.

Compressus sempervirens
Cynodon dactylon
Juniperus species
Morus alba
Olea eruopaea
Populus species
Populus nigra 'Italica'

Italian Cypress
Common Bermuda Grass
Juniper
Common White Mulberry
Common Olive
Common Cottonwood
Lombardy Poplar

Opuntia bigelovii
Opuntia engelmannii
Opuntia fulgida
Opuntia leptocaulis
Opuntia violacea

Teddy Bear Cholla
Desert Prickly Pear
Chain Fruit Cholla
Desert Christmas Cactus
Purple Prickly Pear

Perennials/Annuals
Minimum 1 gallon size.

Baileya multiradiata
Eschscholtzia mexicana
Lupinus sparsiflorus
Melampodium leucanthum
Penstemon eatoni
Penstemon parryi
Penstemon superbus
Rafinesquia species
Salvia columbariae
Senna covesii
Sphaeralcea ambigua
Tagetes lemmoni
Verbena gooddingii
Verbena rigida
Zauschneria latifolia

Desert Marigold
Mexican poppy
Lupine
Blackfoot Daisy
Firecracker Penstemon
Parry's Penstemon
Beard Tongue
Desert Chicory
Chia
Desert Senna
Globe mallow
Mt. Lemmon Marigold
Verbena
Verbena
California fuchsia

Turf
Solid sod or stolons.

Cynodon hybrids

Hybrid Bermuda Grass

5.6 IRRIGATION

- 5.6.1 **General-** Tucson climatic conditions create a difficult environment for many species of plant material to survive. It is essential for the landscape irrigation system to utilize current technology in both product application and system design, in order to effectively accommodate the harsh soil conditions, wind velocities, temperature extremes, and low humidity of the Tucson Valley.

All builder installed residential landscape shall be installed with an automatic irrigation system designed in accordance with the following standards.

- 5.6.2 **Demand Calculations** - Area to be served by irrigation system shall be evaluated for its peak demand water requirements. Peak flow demands shall be based on applying peak weekly irrigation requirements in thirty six (36) hours, (12:00 am - 6:00 am). Design shall be based on utilizing available static pressure minus ten percent (10%) for fluctuations.

- 5.6.3 **Water Supply** - Potable water service shall be tapped adjacent to residence and a minimum of 5' behind the front facade. Provide isolation gate valve and valve box at tap. Install schedule 40 PVC pressure supply line to backflow preventer location(s).

All potable water supplies shall be protected utilizing an approved Pressure Vacuum Breaker (PVB) device. At no time shall velocity through PVB device exceed seven and one half (7.5) FPS. PVB to be installed per manufacturer recommendations.

- 5.6.4 **Water Application** - Irrigation system shall be designed in conjunction with the landscape design. Drip irrigation is required for most areas. Limited areas of spray irrigation are permitted, based on landscape plan.

Areas which must be sprayed adjacent to roadways and walkways are to utilize low angle (10°) spray nozzles on 4" pop-up spray heads. Spray heads are to be placed 8" from back of curb for groundcover areas. Larger radius rotor heads (25' radius or greater) are not allowed immediately adjacent to roadway edges.

All spray heads (15' radius or less) are to be spaced no further than forty five percent (45%) of diameter to account for Tucson Valley wind conditions. Spacing for larger radius rotors (25' radius or greater) shall not exceed fifty percent (50%) of diameter.

In no case shall any overhead system throw water directly on any roadway, walkway, or paved service.

Drip irrigation is required for all planting one (1) quart and larger and systems must be designed to provide for water demand of plant material of one (1) year maturity (15 gal. and smaller) in addition to establishment requirements. Trees (24" box and larger) must be designed to provide for three (3) year maturity water requirements. Emitter quantity to be proportioned to initial root size at installation, with hydraulic provisions made for stated maturity demand. Emitter flow rate to be relative to initial container root depth.

<u>Root Depth</u>	<u>Emitter Size</u>
10"	1/2 GPH Emitter
12" - 24"	1 GPH Emitter
25" - 36"	2 GPH Emitter
42"+	*2 GPH Emitter

* With alternating deep watering sleeve to 1/2 root ball depth.

Quantity of emitters per plant in accordance with the following table. Space equally around rootball.

<u>Plant Size</u>	<u>Emitter Volume</u>	<u>Quantity</u>
1 gallon material	1/2 GPH	1 each
5 gallon material	1/2 GPH	2 each
15 gallon material	1 GPH	3 each
24" box material	1 GPH	4 each
36" box material	1 GPH	6 each

5.6.5 Zoning - Spray and drip irrigation systems must be zoned for exposure, topography, and varying water requirements of plant material in addition to hydraulic limitations. At a minimum, irrigation design shall account for ;

- varying precipitation rates and/or watering depth or schedule requirements;
- south and west exposures together, north and east exposures together (separate all whenever possible).
- plant material in different crop coefficient groupings.

.10 - .30	Low
.40 - .60	Medium
.70 - .90	High

5.6.6 Controllers - All irrigation systems shall utilize solid state electronic, micro processor controllers capable of a minimum of three (3) operating programs, and four (4) start times per program. Additional repeat capabilities are desirable. Size unit to provide for front and side yard landscape, plus a minimum of three (3) additional zones for future rear yard use.

All zones are to be activated by an electric control valve, solenoid actuated, sized accordingly and compatible with control system manufacturer. All control valves must be capable of adjustment to proper zone operating pressure, through flow control (1-20 PSI) or attached pressure regulator (20 PSI plus).

5.6.7 Sleeving - All driveways and walkways 4' or greater in width are to be sleeved with SCH 200 PVC sleeves. Provide separate sleeve for each pipe crossing; two (2) nominal sizes larger than pipe being sleeved. Provide separate PVC sleeve for control wires.

5.6.8 System Installation

Piping - Install all pressure supply line piping a minimum of 12" from tip of pipe. Lateral piping and drip tubing to be a minimum of 8" from the top of pipe. Provide a pressure supply line stub inside every backyard for future extension by Owner.

Control Wiring - Install control wiring with pressure supply line where possible. A minimum of 16 gauge UFUL wire must be utilized for all control valve wiring. Extend a minimum of three (3) spare control wires and common to backyard pressure supply line stub.

Bed all piping and wiring with select backfill a minimum of four inches (4") below pipe and four inches (4") above pipe to width of excavation. All backfill to be free of rock and debris larger than two inches (2") in size.

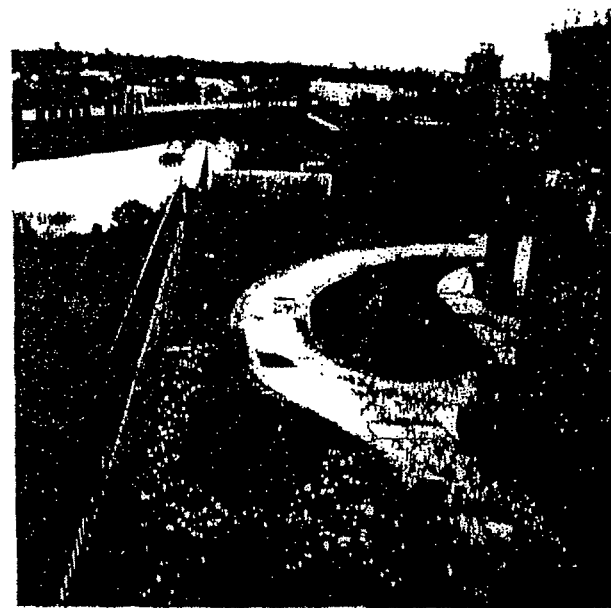
Water Application - Adjust control valve control or pressure regulating assemble on all overhead spray and rotor zones to designed operating pressure. Perform same fine tuning adjustment on all drip irrigation zones.

Adjust all arcs as necessary to prevent direct spray on any roadways, walkways, structures, or paved surfaces, as well as overthrow into any planting bed which is drip irrigated. Change head nozzles and arc patterns as required.



**SITE DEVELOPMENT/GRADING
GOOD**

Side lot retaining wall creates
one edge of residence



**SITE DEVELOPMENT/GRADING
GOOD**

Courtyard created by using
house as retaining wall



**SITE DEVELOPMENT/GRADING
GOOD**

Median used to preserve
vegetation, take up grade.



**SITE DEVELOPMENT/DRAINAGE
GOOD**

Naturalized rip-rapped channel

Handwritten text along the left margin, possibly a page number or reference code.

EXAMPLES
SITE DEVELOPMENT



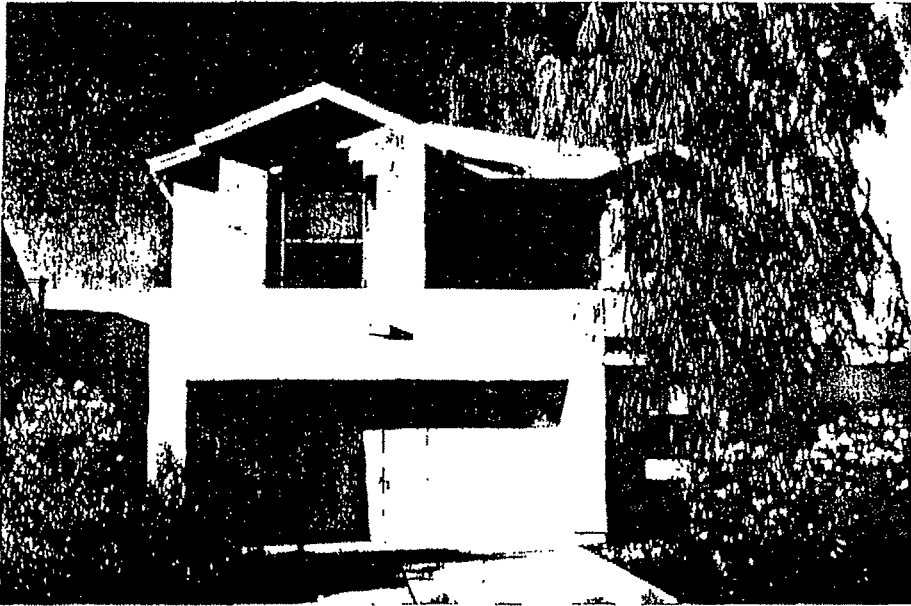
SITE DEVELOPMENT/WALLS
GOOD

View fence on open space, transition wall to take up grade, screen backyard utilities.



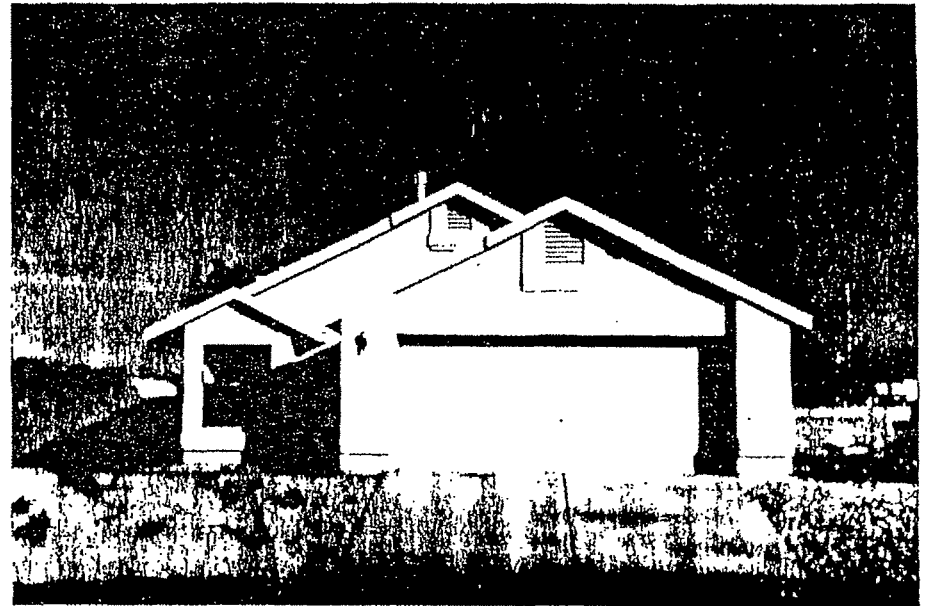
SITE DEVELOPMENT/WALLS
GOOD

Privacy wall matches parcel wall, extends house architecture.



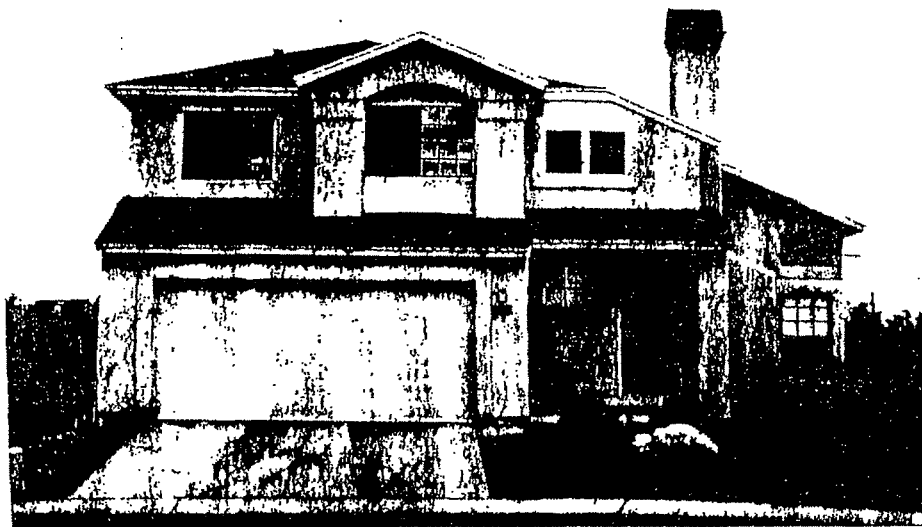
**SFD FRONT ELEVATION
UNACCEPTABLE**

Lacks detail at windows and garage door,
front door obscured, poor stucco finish.



**SFD FRONT ELEVATION
UNACCEPTABLE**

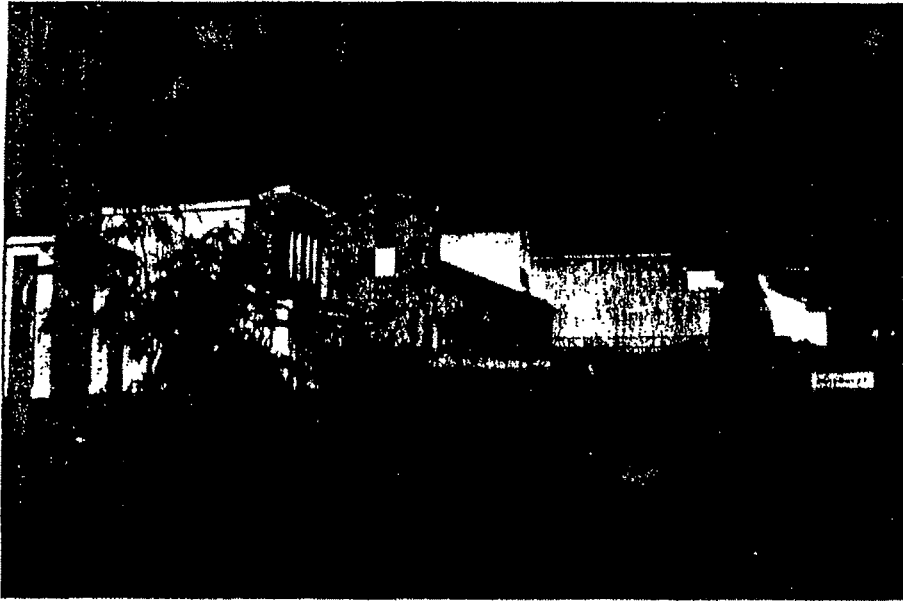
Lacks color variation, front door hidden
landscape too small.



**SFD FRONT ELEVATION
REQUIRED**

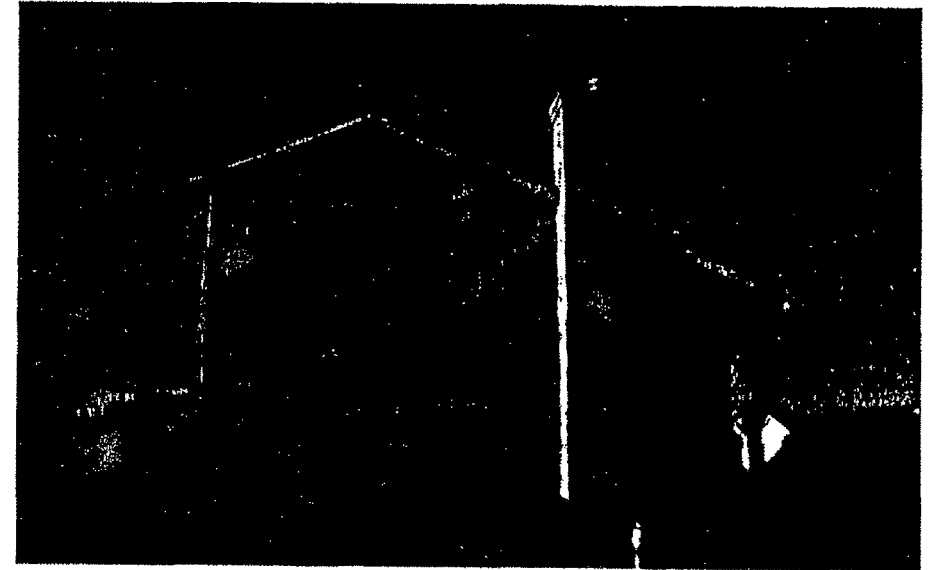
Garage door trimmed, windows multi-pane,
front door visible, defined by color.

EXAMPLES
BUILDING ELEVATION



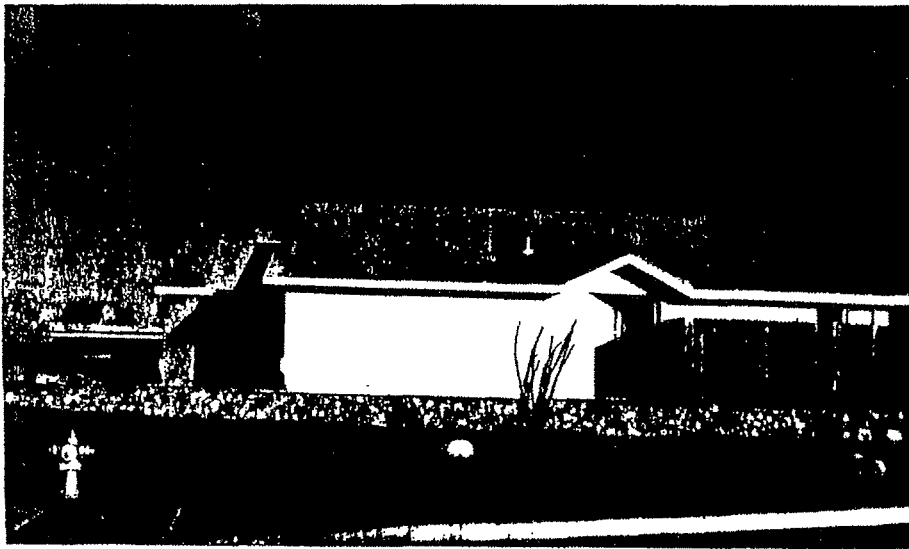
**SFD INTERNAL LOTS
ANGLED LOT, EXPOSED SIDE
UNACCEPTABLE**

Blank walls exposed to street scene.



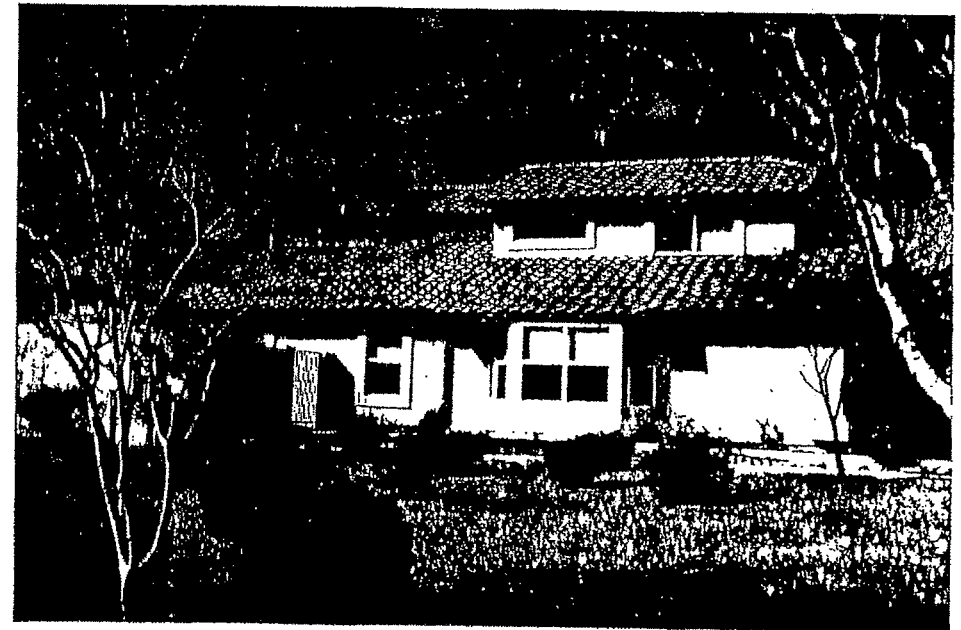
**SFD CORNER LOT;
SIDE ELEVATION
UNACCEPTABLE**

Lack of windows, too much blank wall exposed to public view.



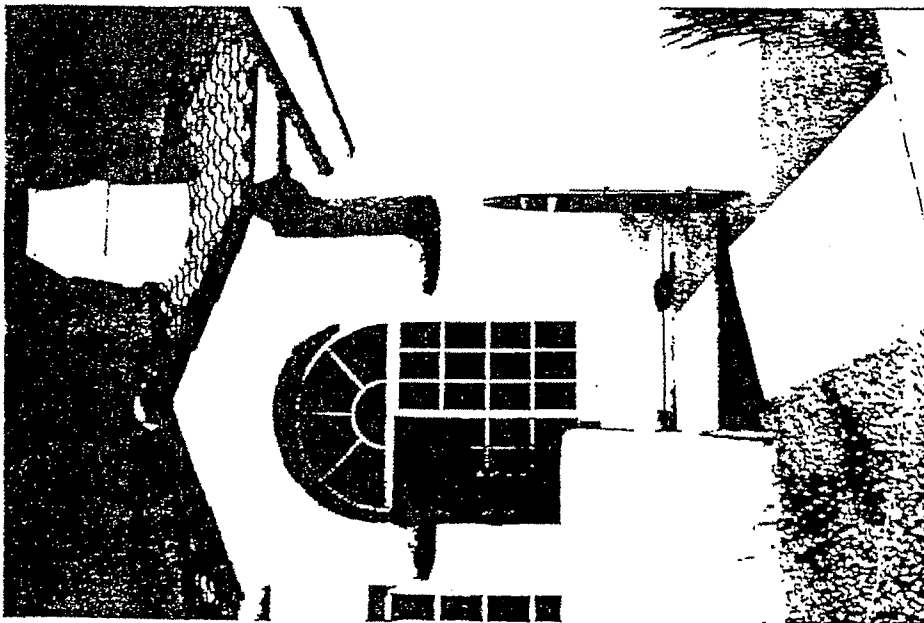
**SFD CORNER LOT
SIDE ELEVATION
UNACCEPTABLE**

No windows, poor entry identification, poor landscape exposed to public view.



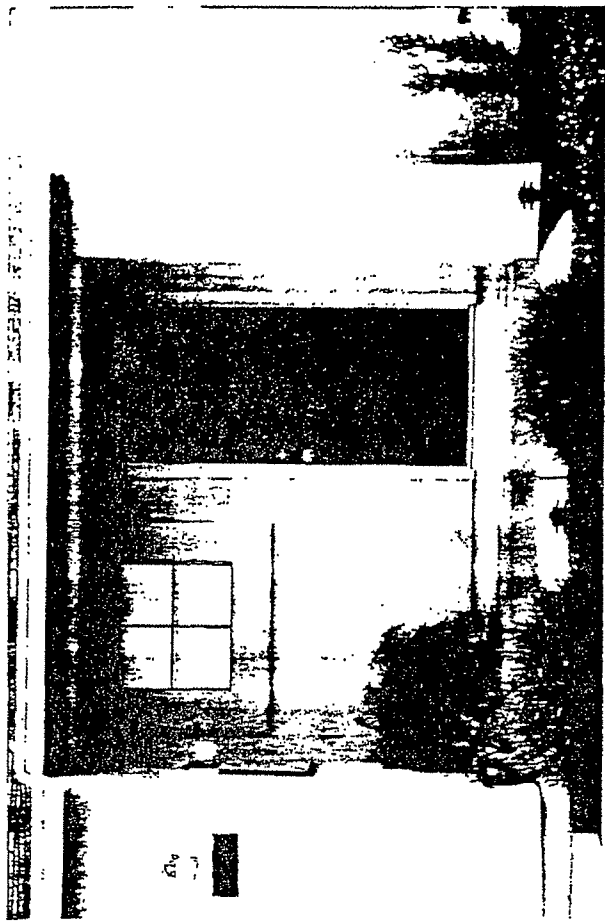
**SFD CORNER LOT
SIDE ELEVATION
REQUIRED**

Strong entry identification, ample windows, landscape exposed to public view.



Front gate to define entry, create traditional southwest character.

DETAILS - GOOD



DETAILS - GOOD

Use of color to define front door, porch and window create entry.

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EXAMPLES

DETAILS

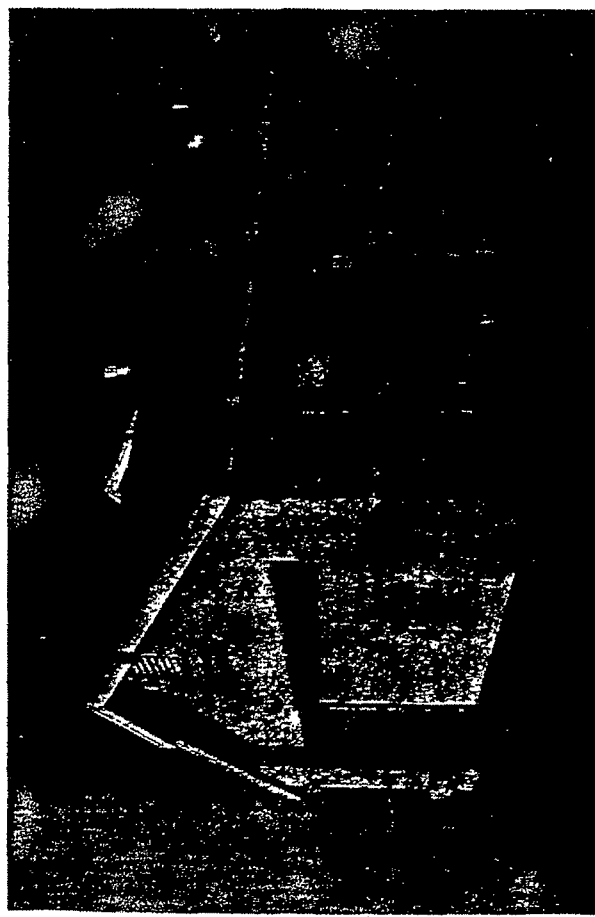
Architectural Record, June 1974, p. 100

DETAILS - GOOD

Recessed window with pop-out and shadow box to create depth.

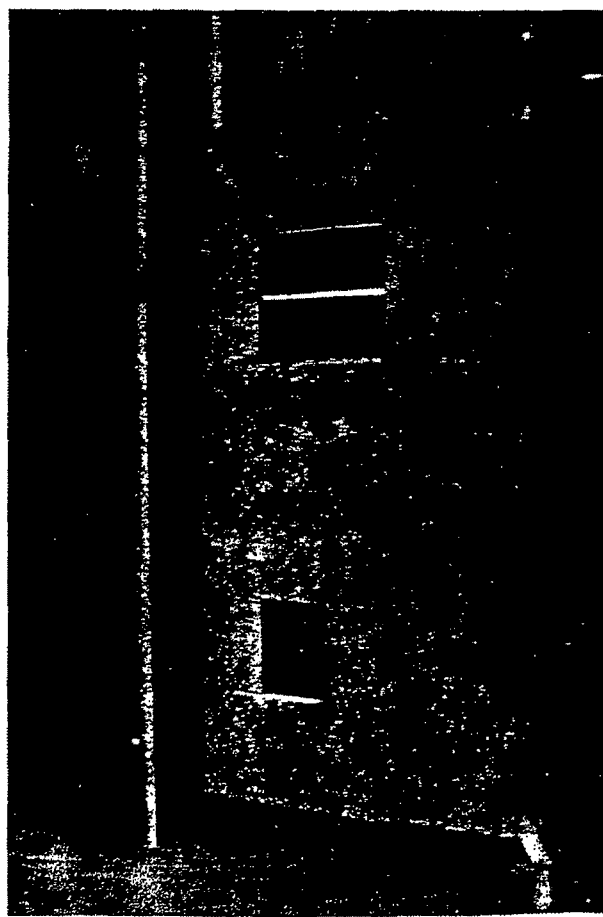


Poorly sited utility connections, no screening.



DETAILS - POOR

Flush mounted windows.



DETAILS - POOR



**SFD FRONT YARD
LANDSCAPE -
UNACCEPTABLE**

No trees, no foundation planting
too much inorganic groundcover.



**SFD FRONT YARD
LANDSCAPE -
SUGGESTED**

Use of low walls to create courtyard and
define space, traditional southwest detail



**SFD FRONT YARD
LANDSCAPE -
SUGGESTED**

Good diversity of color and texture,
ample organic coverage with no turf.

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EXAMPLES
LANDSCAPE

S T A R R P A S S

S U P P L E M E N T A L
D E S I G N G U I D E L I N E S

(Including Parcel Development and Multi-Family Residential Criteria)

PREPARED FOR:

STARR PASS DEVELOPMENT GROUP
Toronto, Canada

PREPARED BY:

DESIGN WORKSHOP, INC.
Phoenix, Arizona

January 1, 1993

TABLE OF CONTENTS

SECTION	S1.0	PARCEL PLANNING AND DEVELOPMENT CRITERIA
	S1.1	PURPOSE AND APPLICABILITY
	S1.2	STREETS AND VEHICULAR CIRCULATION
	S1.2.1	Parcel Entries
	S1.2.2	Street Length
	S1.2.3	Street Width
	S1.2.4	Special Street Requirements
	S1.3	WALKWAYS
	S1.3.1	Walkway Plan
	S1.3.2	Walkway Widths
	S1.3.3	Open Space/Walkway Connections
	S1.3.4	Controlled Access
	S1.4	DEVELOPMENT GRADE
	S1.4.1	Site Protection
	S1.4.2	Parcel Grading
	S1.4.3	Lot Grading
	S1.4.4	Retaining Conditions
	S1.4.5	Slope Stabilization
	S1.5	DRAINAGE
	S1.5.1	Parcel Drainage
	S1.5.2	Adjoining Parcel Drainage
	S1.6	UTILITIES
	S1.6.1	Utility Boxes and Locations
	S1.6.2	Street Lights
SECTION	S2.0	MULTI-FAMILY PRODUCT, DESIGN AND DEVELOPMENT CRITERIA
	S2.1	SITE PLANNING
	S2.1.1	Introduction
	S2.1.2	Site Entry
	S2.1.3	Site Circulation; Vehicular
	S2.1.4	Site Circulation; Pedestrian
	S2.1.5	Building Arrangement
	S2.1.6	Parking
	S2.1.7	Project Amenities
	S2.2	ARCHITECTURE
	S2.2.0	General
	S2.2.1	Building Massing
	S2.2.2	Building Elevations
	S2.2.3	Rooflines
	S2.2.4	Approved Materials
	S2.2.5	Color
	S2.2.6	Building to Building Setbacks

S2.3 LANDSCAPE

- S2.3.0 General
- S2.3.1 General Landscape Requirements
- S2.3.2 Parking Lot Landscape
- S2.3.3 Amenity Area Landscape
- S2.3.4 Irrigation

SECTION S1.0 PARCEL PLANNING AND DEVELOPMENT CRITERIA

S1.1 PURPOSE AND APPLICABILITY

Typically, the Starr Pass Master Developer will provide developed lots within each parcel, including all parcel streets and services, as well as parcel entry features. However, for those parcels that are sold directly to the builder for direct development, these supplemental criteria shall establish the minimum standards for parcel planning and development.

S1.2 STREETS AND VEHICULAR CIRCULATION

S1.2.1 Parcel Entries - Parcel entry locations will be established for each parcel and designed by the Master Developer and constructed by the Builder.

S1.2.2 Street Length - Residential streets planned and developed by the Builder shall be limited to a maximum of 10 dwelling units (on one side) in length before a curve or offset equal to 25% of average lot depth is introduced. Long, straight streets shall not be permitted. Refer to Exhibit S-1.2.5.

Cul-de-sac street lengths shall be limited to the lesser of 14 total dwelling units or 500 linear feet. Refer to Exhibit S-1.2.5.

S1.2.3 Street Width - All street sections, landscape areas, walkways, and other street improvements shall be designed and constructed in accordance with the Starr Pass Tentative Map available from SPRC.

S1.2.4 Special Street Requirements - View Cul-de-Sacs and Pedestrian Access Cul-de-Sacs - The purpose of view cul-de-sacs and pedestrian cul-de-sacs is to provide a visual and physical connection from individual parcels to the golf course, natural open space or trails, and to reduce long parcel wall lengths for visual relief. Refer to Exhibit S-1.2.6.

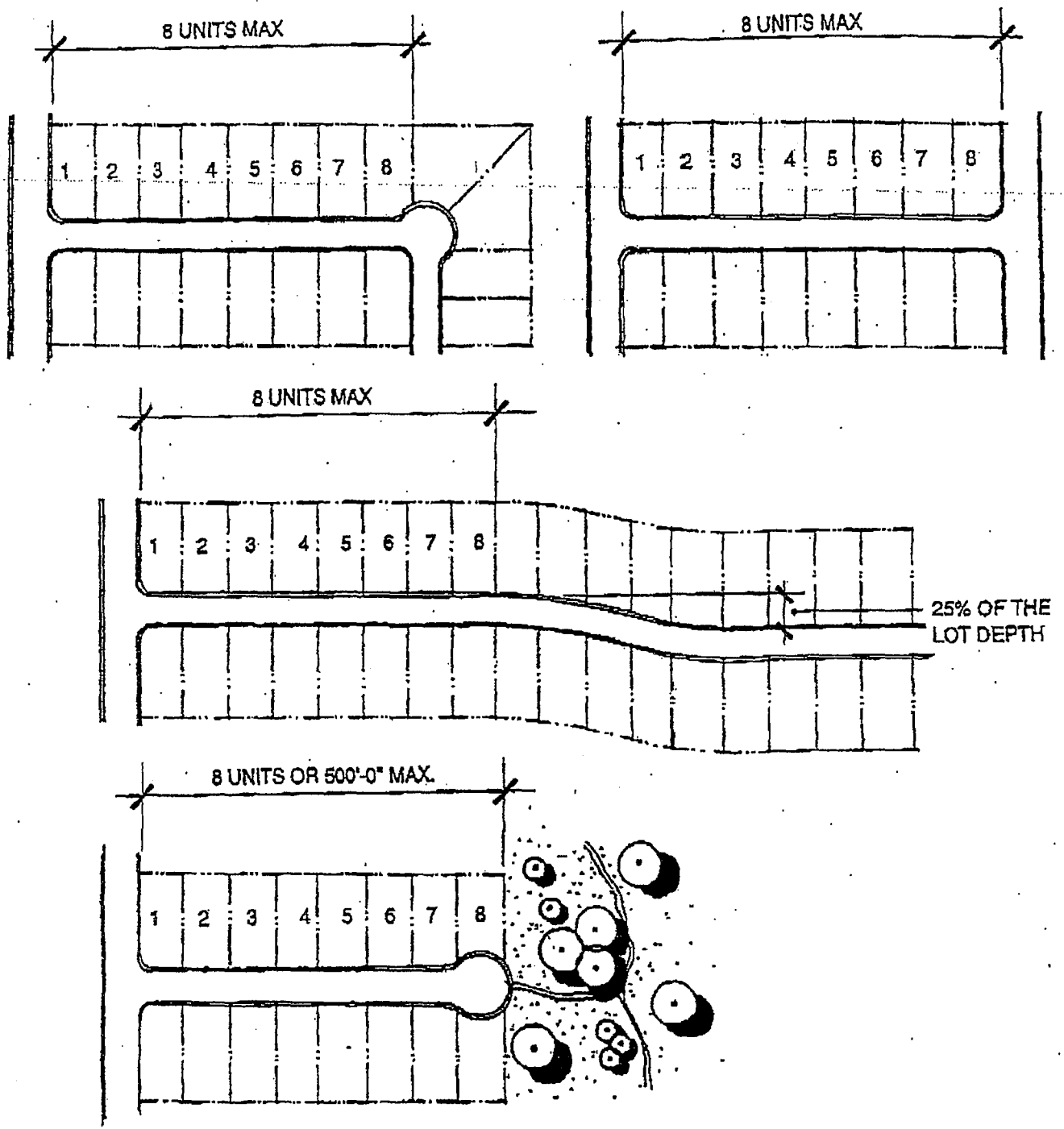
Each builder shall provide view cul-de-sacs and pedestrian cul-de-sacs along natural open space, streets and trails, or the golf course areas, as required by the SPRC. The SPRC will work with the builder to find optimum locations without adversely impacting parcel efficiencies.

Each view or pedestrian cul-de-sac shall contain a view fence extending from front yard setback to front yard setback as a minimum. Each pedestrian access cul-de-sac shall extend from front yard setback to front yard setback as a minimum, and shall contain a pedestrian access gate and connecting 4' walkway. In gated parcels, access gates may be restricted to use by parcel residents only.

S1.3 WALKWAYS

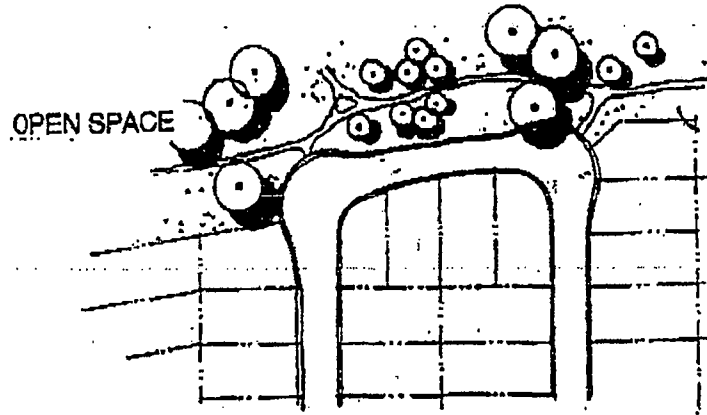
S1.3.1 Walkway Plan - A comprehensive Pedestrian Circulation Plan is included and on record with the Starr Pass Tentative Map at the City of Tucson. Builders are required to provide the walkway connections shown on this map. As a minimum, equivalent connections shall be provided by the builder if specific locations shown are not utilized.

Starr Pass Supplemental Design Guidelines

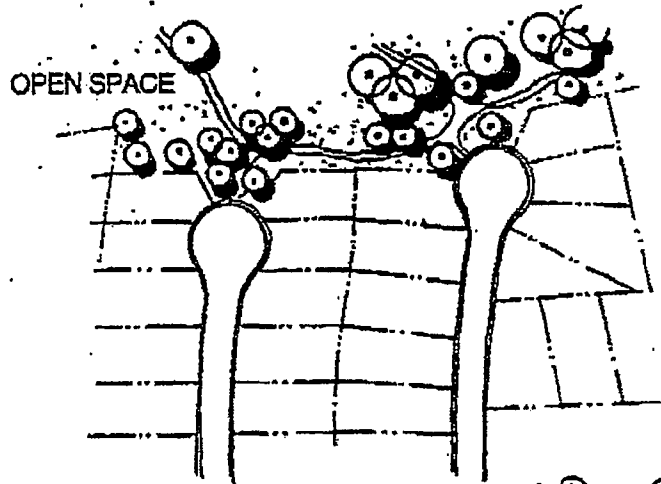


Street Length
Exhibit S-1.2.5

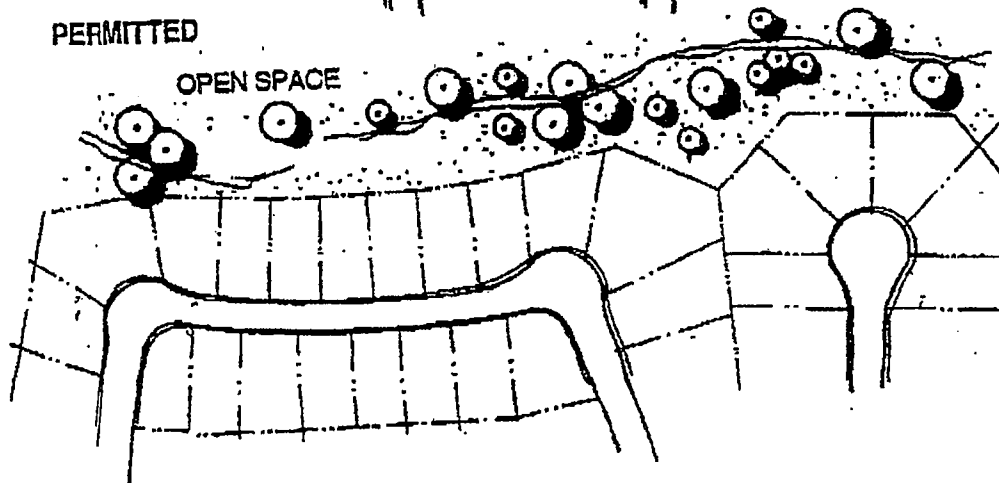
Starr Pass Supplemental Design Guidelines



RECOMMENDED



PERMITTED



RESTRICTED

S1.3.2 Walkway Widths - Walkways shall be a minimum of 4', or as noted on the Circulation Plan, in all residential parcels.

S1.3.3 Open Space / Walkway Connections - Parcels adjoining neighborhood trails or community system shall provide connections as outlined in Section S1.2.4, (Pedestrian Access Cul-de-sacs).

Additional pedestrian connections between lots that are not part of a pedestrian access cul-de-sac must be at least 25' wide, and shall not have full height solid walls along more than 50% of their length.

S1.3.4 Controlled Access - Controlled access gates may be provided at each pedestrian access entry, with access limited to parcel residents.

S1.4 DEVELOPMENT GRADING

S1.4.1 Site Protection - Section 3.7.3 of the Single Family Residential Criteria shall be reviewed and adhered to for any site grading to be performed by the builder.

S1.4.2 Parcel Grading - Parcel grading shall create smooth slope transitions between graded pads and surrounding development.

A maximum of 5% and a minimum of 1% slopes are permitted for development pads.

Excess excavation materials must be hauled away from the project area unless approved otherwise by Starr Pass.

No blasting may be undertaken without obtaining a written approval of SPRC and a blasting permit from the City of Tucson, and complying with all local blasting regulations.

S1.4.3 Lot Grading - Lots shall be graded to drain all water away from buildings at a minimum of 1% fall.

In order to reduce excessive front or rear yard retaining walls or escarpment conditions, Type B lot grading is recommended, where appropriate.

Escarpments at rear lot lines shall not exceed 18" in height and 3:1 in slope.

Side lot retaining walls are required where the side lot to side lot differential exceeds 12". These walls shall begin 5' from back of curb line or sidewalk, whichever is greater.

S1.4.4 Retaining Conditions - Retaining walls designed to assist with parcel or lot grading shall not exceed 4'0" in height along the back lot line and 2'0" in height along the side property line when visible from public rights-of-way or community open space. All walls must be waterproofed on the surcharged side.

If more than 4'0" of retainage is necessary, two walls will be required, with a minimum offset of 4'0" from the rear of the lower wall to the face of the upper wall. The lower wall cannot exceed 4'0" in height, and the upper wall cannot exceed 3'0".

Retaining walls adjoining a residential street or sidewalk require a 4'0" setback from the back of curb or sidewalk, whichever is greater. The setback shall be landscaped in accordance with Section 5.2.2 of the Single Family Residential Design Guidelines and maintained by the adjoining homeowner.

S1.4.5 Slope Stabilization - Slopes shall not exceed 3:1 (one foot vertical to three feet horizontal). All temporary slope banks equal to 3:1 shall be treated with slope erosion materials. Permanent slopes in excess of 4:1 shall be stabilized with erosion control mats, hydroseeded, and temporarily irrigated until erosion control landscape is firmly established, as described in Section 5.2.4 of the Single Family Residential Design Guidelines and maintained by the adjoining homeowner.

S1.5 DRAINAGE

S1.5.1 Parcel Drainage - Drainage limits, the quantity of run-off, and point(s) of discharge for each parcel have been pre-determined. Component elements of the parcel drainage system shall include the following:

(To be reviewed by a Certified Project Engineer)

Maximum depth of 100 year flow can exceed top of curb as long as the product of velocity x depth does not exceed 8.

All parcels shall drain to the specified concentration points.

All lots shall drain to the street at a minimum grade of 1%.

Cross gutters shall be constructed at street intersections.

The depth of flow in the gutter flow line shall be less than or equal to 1 foot.

The residential finished floor shall be a minimum of 18 inches above the water surface elevation in the street.

S1.5.2 Adjoining Parcel Drainage - Adjoining properties shall be protected from flooding or surface drainage. Drainage shall not be diverted or directed in a manner inconsistent with the master drainage plan prepared by Starr Pass.

S1.6 UTILITIES

S1.6.1 Utility Boxes and Locations - All electric service, telephone, and cable television lines shall be located underground.

Above ground utility appurtenances visible from public streets, including electric transformer switch and junction boxes, telephone switch and junction boxes, cable television switch and junction boxes, gas vents and valves, and irrigation controllers and valve boxes, shall be located no closer than 75 feet from the intersection of arterial streets, neighborhood or residential collectors. Electric switch boxes shall be placed on the non-walkway side of streets.

Entry features, walls, or landscaping shall be used to screen above ground utility appurtenances when located near project entry.

Concrete pads for all utility appurtenances shall not be more than six inches above the adjoining ultimate finish grade. Pads adjoining walkways shall be the same elevation and flush with the walkway.

S1.6.2 Street Lights - shall not be permitted. Pedestrian bollard lighting, low level lighting or landscape accent fixtures shall be used.

Parking lot lighting shall be a maximum of 10' height, "shoe box" type fixture.

**SECTION S2.0
MULTI - FAMILY PRODUCT, DESIGN AND DEVELOPMENT CRITERIA**

S2.1 SITE PLANNING

S2.1.1 Introduction - Site planning for multi-family units shall be done in manner that reflects the open space character of the site, while meeting the development's density objectives. Important principles include:

S2.1.2 Site Entry - Site entry locations will be established by the Master Developer. However, if internal circulation requires examining other options, the SPRC will review any proposal.

The main entry route shall not have parking along entry drive, for a distance of 200' from the centerline of the access point.

S2.1.3 Site Circulation; Vehicular - Site circulation shall be developed so that a clear and logical main circulation route is evident. This circulation may include an internal loop or several closed cul-de-sacs accessed by a main drive.

S2.1.4 Site Circulation; Pedestrian - A clear and continuous pedestrian circulation system shall be developed throughout the project site, connecting units to parking, site amenities, neighborhood trails and public roads. Each project shall provide a minimum of one connection to the sidewalk adjoining the public street that accesses the project, and a minimum of one connection to the Starr Pass open space trail system.

S2.1.5 Building Arrangement - Buildings shall be arranged in groups to form exterior courtyards or natural clusters. Building alignment may be either parallel or angular to the parcel line, but in no instance shall they create a continuous "wall" of buildings along any parcel edge in excess of 60% of the total parcel boundary line footage.

S2.1.6 Parking - Each project shall provide two parking spaces per unit, with at least one space covered. Parking lots shall be arranged in courts not to exceed 50 cars. Parking shall not adjoin the golf course edge, or more than 50% of the edge adjoining any public road and/or open space.

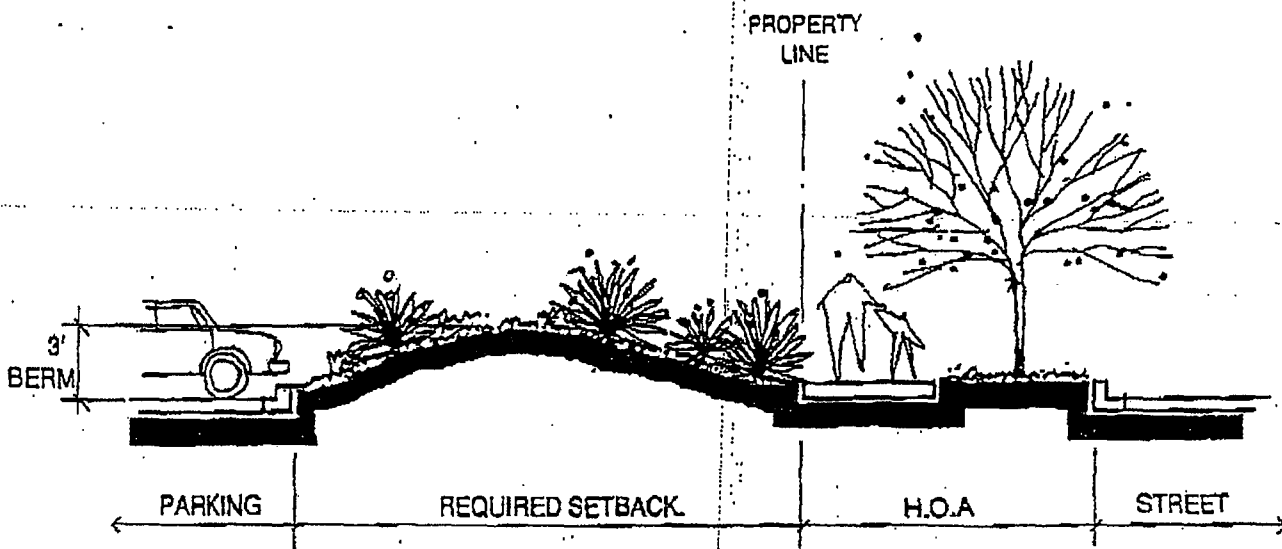
The following setback criteria detail parking setbacks:

Public Roadway	20' minimum
Adjacent Buildings	15' minimum
Open Space	10' minimum

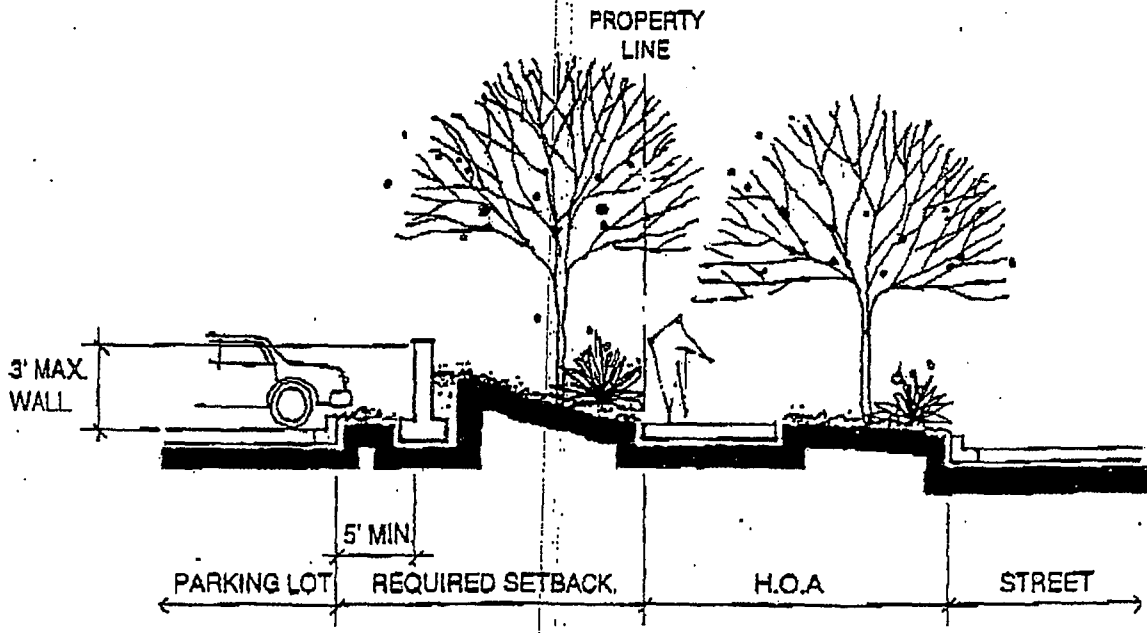
Parking visible from public streets, open space or golf course shall be screened by a 3' minimum screen. A combination of low walls, landscape materials or berming can be used. Low walls shall be 3' maximum from the top of the parking surface. Refer to Exhibit S-2.1.8.

S2.1.7 Project Amenities - A project amenity shall be provided for every 100 units, or fraction thereof, (i.e. 150 units will require two amenities).

Amenities shall include at least one pool, and then other optional items such as tennis, volleyball courts, gazebo and picnic areas. Each project shall include one exterior gas grill for every 25 units.



SCREEN WITH BERM



SCREEN WITH BERM AND LOW WALL

S2.2 ARCHITECTURE

S2.2.0 General - The following architectural design standards should be used following a review of the Single Family Residential Design Standards for a complete understanding of architectural intent and concepts. The SPRC shall work closely with Multi-Family unit developers to assure maximum flexibility in design, while maintaining consistency of project standards.

The Single Family Residential standards shall apply for any item that is not addressed in this supplemental criteria.

S2.2.1 Building Massing - Individual multi-family buildings shall be massed to create interest from the street and golf course, shall not exceed 25' in height, and shall provide transitional one story units at each end of the building adjacent to public streets, golf course or open space.

No building may exceed 10 units in size or 160 feet in length, whichever is less.

S2.2.2 Building Elevations - Building elevations visible from public areas, streets, natural open space, or golf course shall be detailed in a manner that creates diversity in the building plane. This may include the use of balconies, bonus rooms, bay windows, pop-outs, and recessed entries.

Windows may be flush mounted if the facade provides shade and shadow variation through changes in building plane. Otherwise, windows must be recessed a minimum of 2".

S2.2.3 Rooflines - Variety in rooflines is required. A single, monolithic ridgeline for a single building is not permitted. Multi-family units shall blend gable, flat, and hip roofs with dormers or other options to create diversity and interest in the building roofline.

Roof tiles shall comply with the standards in Section 4.4.4 of the Single Family Residential Design Guidelines.

Roof overhangs shall be a minimum of 24" at the rakes and 18" at the eaves.

S2.2.4 Approved Materials - Materials shall comply with the standards in Section 4.5 of the Single Family Residential Design Criteria.

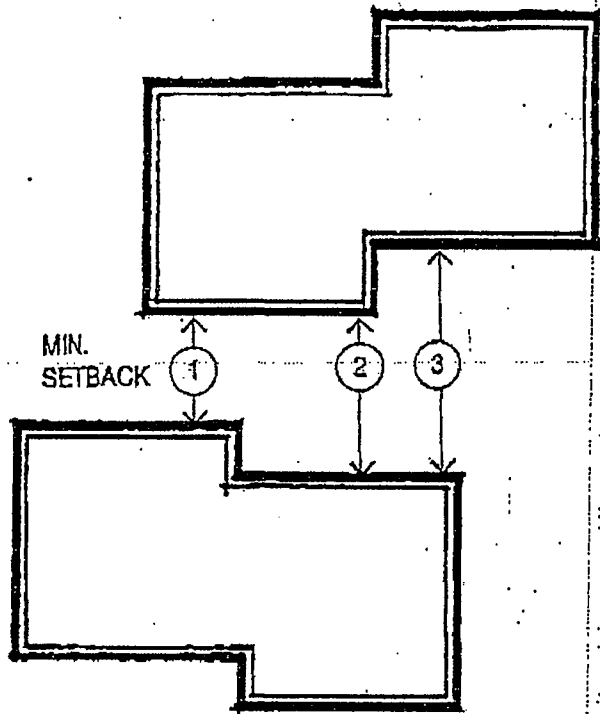
S2.2.5 Color - Colors shall comply with the standards in Section 4.6 of the Single Family Residential Design Criteria.

S2.2.6 Building to Building Setbacks - The following setback criteria details minimum and average setbacks:

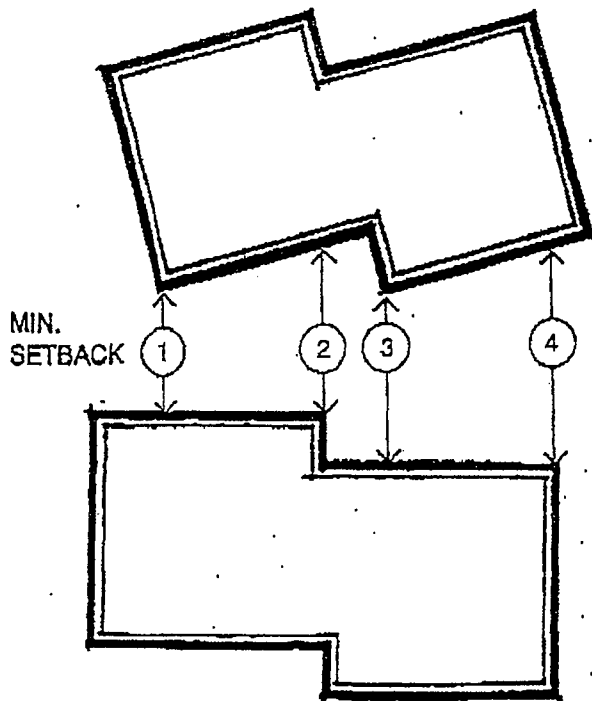
Front to front setback	25' minimum	30' average
Front to rear setback	25' minimum	30' average
Front to side setback	15' minimum	20' average
Side to rear setback	25' minimum	30' average
Rear to rear setback	30' minimum	35' average
Side to side setback	10' minimum	15' average

Refer to Exhibit S-2.2.7 for examples of minimum and average setbacks.

Starr Pass Supplemental Design Guidelines



REQUIRED SETBACK
EQUALS AVERAGE OF
DISTANCES 1, 2, AND 3.



REQUIRED SETBACK
EQUALS AVERAGE OF
DISTANCES 1, 2, 3, AND 4.

S2.3 LANDSCAPE

S2.3.0 General - The following landscape design standards should be used following a review of the Single Family Residential Design Standards for a complete understanding of architectural intent and concepts. The SPRC shall work closely with Multi-Family unit developers to assure maximum flexibility in design, while maintaining consistency of project standards.

The Single Family Residential standards shall apply for any item that is not addressed in this supplemental criteria.

S2.3.1 General Landscape Requirements - Multi-family developers shall be afforded maximum flexibility in design of site landscape. However, total site program requirements shall be as follows:

Number of Trees	(1)	24" box for each unit
	(1)	36" box for every 4 units
Shrubs	(7)	5 gallon for each unit
Groundcover	(10)	1 gallon for each unit

All plant material shall comply with the standards outlined in Section 5.0 of the Single Family Residential Guidelines.

S2.3.2 Parking Lot Landscape - Landscaping in and around parking lots shall consist of two categories:

- a. Perimeter landscaping: Landscaping that surrounds the interior parking lots to a depth of 15 feet, including walks.
- b. Interior landscaping: Landscaping within parking lots that reduces the paving mass of a parking lot and provides shade.

All non-paved areas within the perimeter and interior of parking lots shall be landscaped with a combination of plant material and top dressing.

Perimeter parking lot landscaping shall provide for at least one tree (24" box min.) for every 400 s.f. of landscape area. Refer to Exhibits S-2.3.5 and S-2.3.6.

Interior parking lot landscaping shall provide for a landscape island with a minimum of one tree (24" box min.) for every 8 parking spaces. Refer to Exhibits S-2.3.5 and S-2.3.6.

Landscape islands shall contain a minimum of one tree per parking stall depth along with top dressing (i.e. decomposed granite). Refer to Exhibit S-2.3.5.

Landscape buffers are required between buildings and parking areas, and along public and private roads. Refer to Section S 2.1.6 for detailed parking setbacks and layout criteria.

Parking lots along public roadways and open space shall contain 1 tree (24" box) per 50 linear feet of frontage and a minimum of 50% organic ground coverage at 1 year growth.

S2.3.3 Amenity Area Landscape - The builder shall provide at least one 36" box tree for every 500 s.f. of total amenity area. Additional landscape should reflect the overall character of the site development.

S2.3.4 Irrigation - The irrigation standards used for multi-family parcels should follow the requirements contained in Section 5.6 of the Single Family Residential Design Guidelines.

Starr Pass Supplemental Design Guidelines

PERIMETER
LANDSCAPE
(15'-0")

ONE TREE PER 400 S.F. OF LAND-
SCAPE AREA IN PERIMETER PARK-
ING AREA

ONE TREE PER 8 SPACES
WITHIN INTERIOR PARKING
AREA

INTERIOR
LANDSCAPE

8' MIN.

DOUBLE LOADED

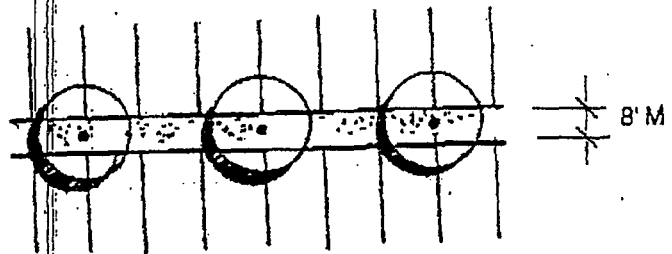
25' MIN. DRIVE LANE

PERIMETER
LANDSCAPE
(15'-0")

MIN. 1 TREE PER ISLAND

4' MIN.

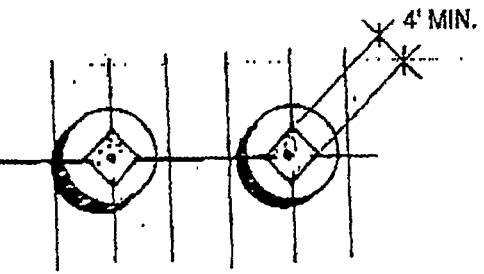
POCKET ISLAND - A



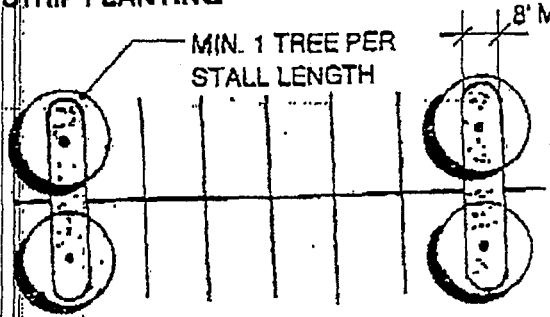
STRIP PLANTING

MIN. 1 TREE PER
STALL LENGTH

8' MIN.

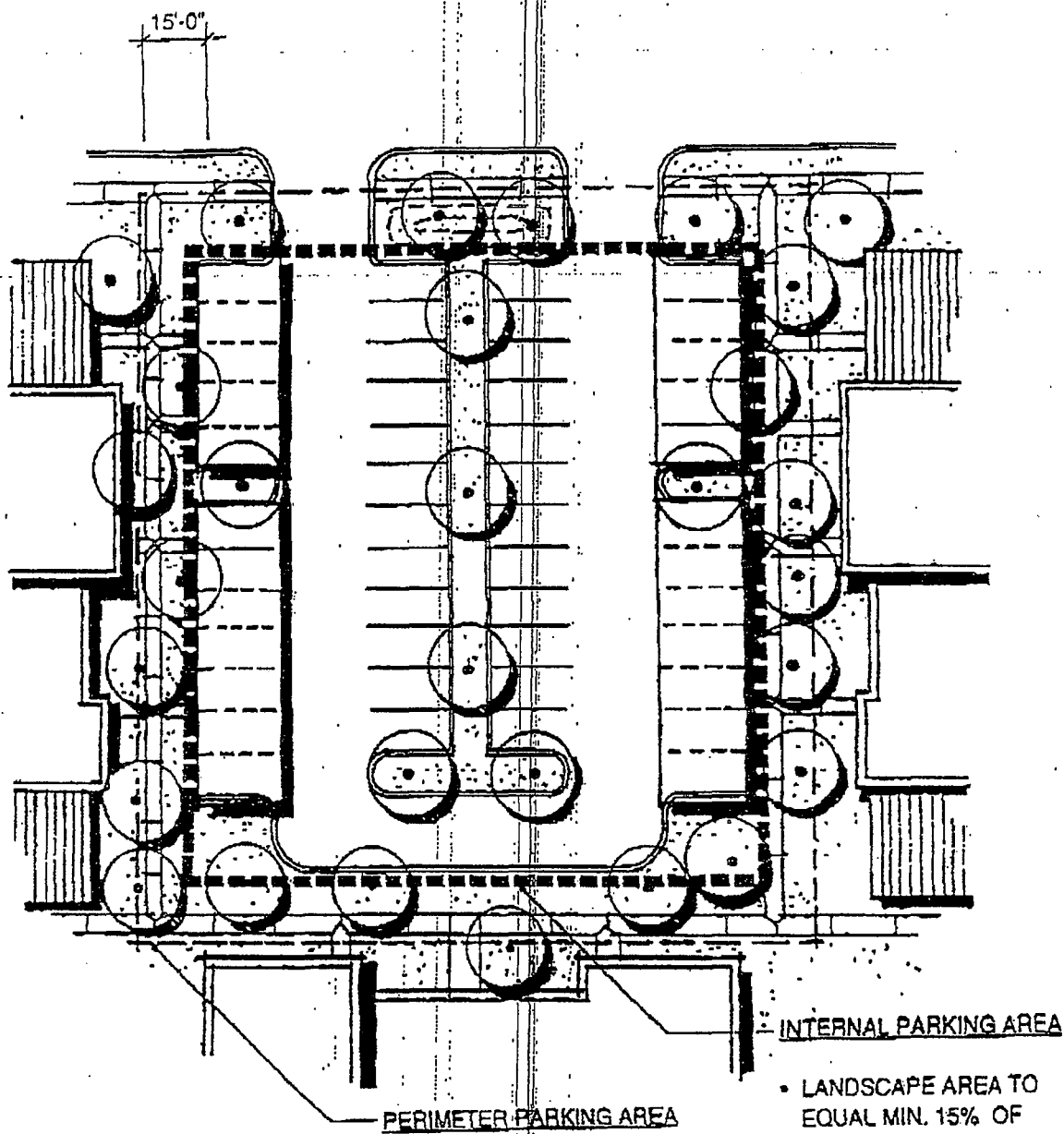


POCKET ISLAND - B



ISLANDS

Start Pass Supplemental Design Guidelines



- MIN. OF 1 TREE PER 400 S.F. OF TOTAL PERIMETER LANDSCAPING AREA (24" BOX MIN. SIZE)

- LANDSCAPE AREA TO EQUAL MIN. 15% OF INTERNAL AREA
- MIN. OF 1 TREE PER 8 SPACES. (24" BOX SIZE)
- MIN. 1 TREE PER STALL DEPTH WITHIN ISLANDS (24" BOX MIN. SIZE)

Parking Court Landscape
Exhibit S-2.3.6